

REGISTERED ARCHITECT'S CERTIFICATE

STATE OF HAWAII)
CITY AND COUNTY OF HONOLULU) ss.

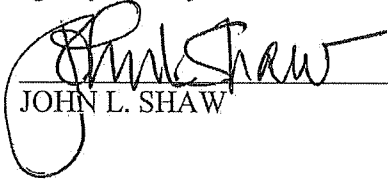
**SEABRIDGE V
CONDO MAP 5933**

The undersigned, **JOHN L. SHAW** states as follows:

That he is an architect registered with the State of Hawaii, Hawaii Registration No. A-5701;

That the floor and elevation plans of **Buildings 106 to 124, inclusive, 126, 269, 271, 273, 275, 277, 279, 281, 283, 285 to 292, inclusive, and of the mail pavilion and gazebo buildings in the SEABridge By Gentry V** condominium project depict the layout, location, unit numbers and dimensions of the condominium units comprising said Buildings and are hereby certified to be consistent with the plans of the condominium's buildings to be filed with the officer of the City and County of Honolulu having jurisdiction over the issuance of permits for the construction of buildings; and

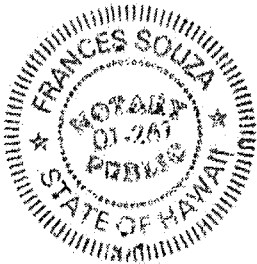
That, including the site plan, there are a total of twenty-five (25) sheets which constitute the condominium map for **SEABridge By Gentry V**.



JOHN L. SHAW

STATE OF HAWAII)
CITY AND COUNTY OF HONOLULU) ss.

On April 4, 2019, before me appeared **JOHN L. SHAW**, to me personally known, who, being by me duly sworn or affirmed, did say that such person executed the foregoing instrument as the free act and deed of such person and if applicable in the capacity shown, having been duly authorized to execute such instrument in such capacity.



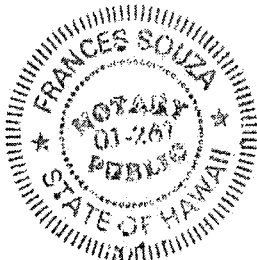


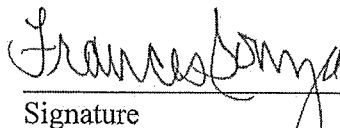
Notary Public, State of Hawaii
Printed Name of Notary: Frances Souza
My commission expires: November 20, 2020

Doc Dated: Undated # Pages: 1

Name: Frances Souza First Circuit

Doc. Description: Registered Architect's Certificate

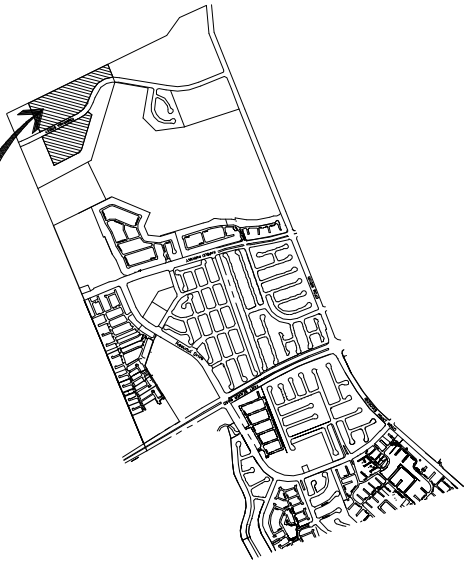




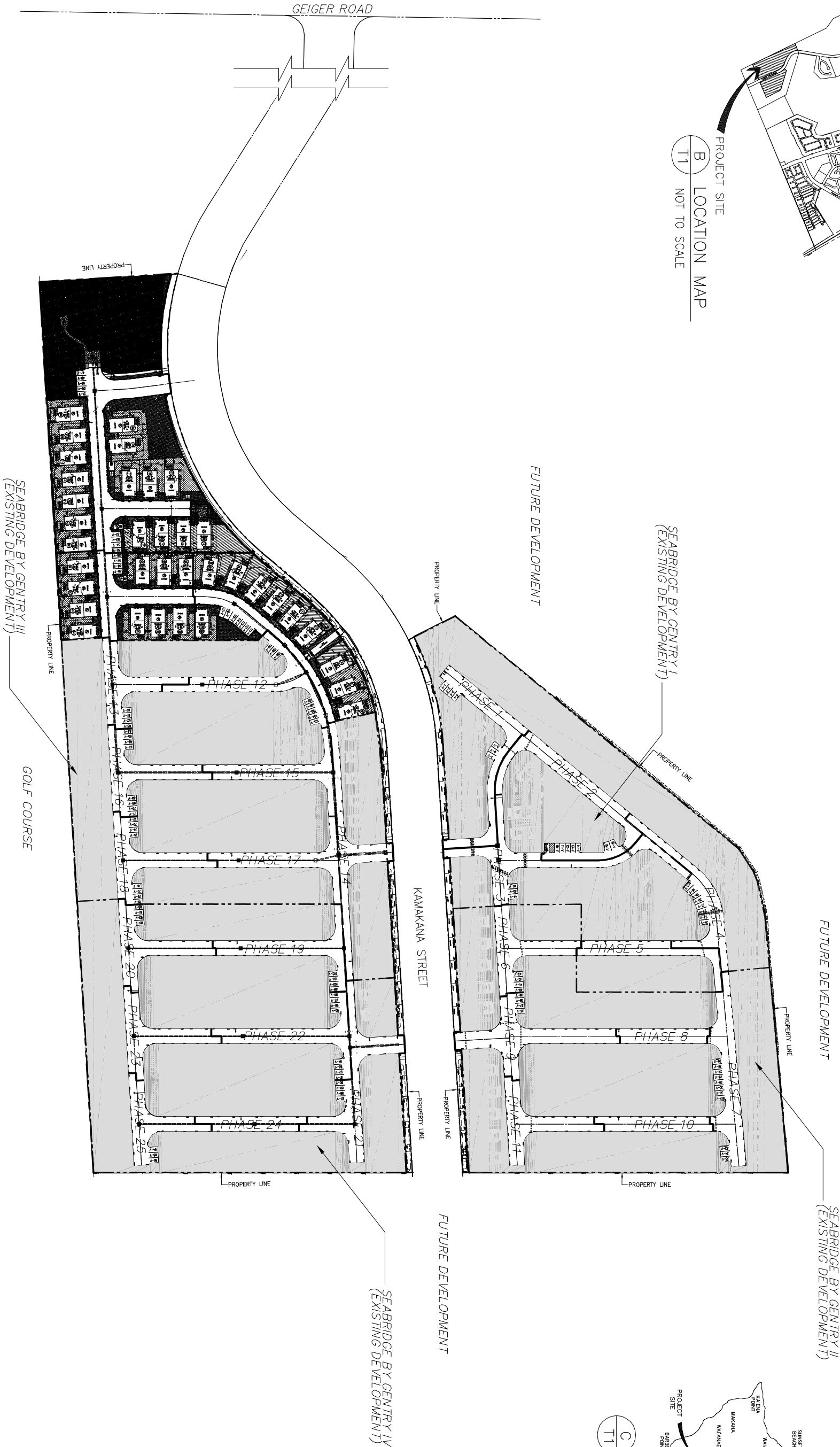
Signature Date
April 4, 2019

NOTARY CERTIFICATION

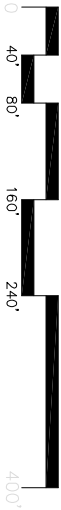
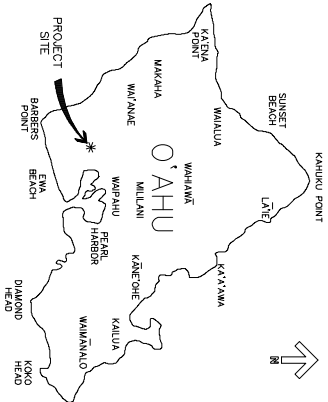
EWA by GENTRY AREA 52
SEABRIDGE BY GENTRY V



PROJECT SITE
B LOCATION MAP
T1 NOT TO SCALE



C VICINITY MAP
T1 NOT TO SCALE



A OVERALL SITE/ KEY PLAN
T1 SCALE: 1"=160'

REVISIONS		
NO.	DATE	DESCRIPTION
1	02/19/19	OVERALL SITE/ KEY PLAN



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(808)-599-5558

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REFERENCE NO.: arch2/area52 SEABRIDGE/CPR/AS2-CPR-inc5_T1

DATE: 04-30-20

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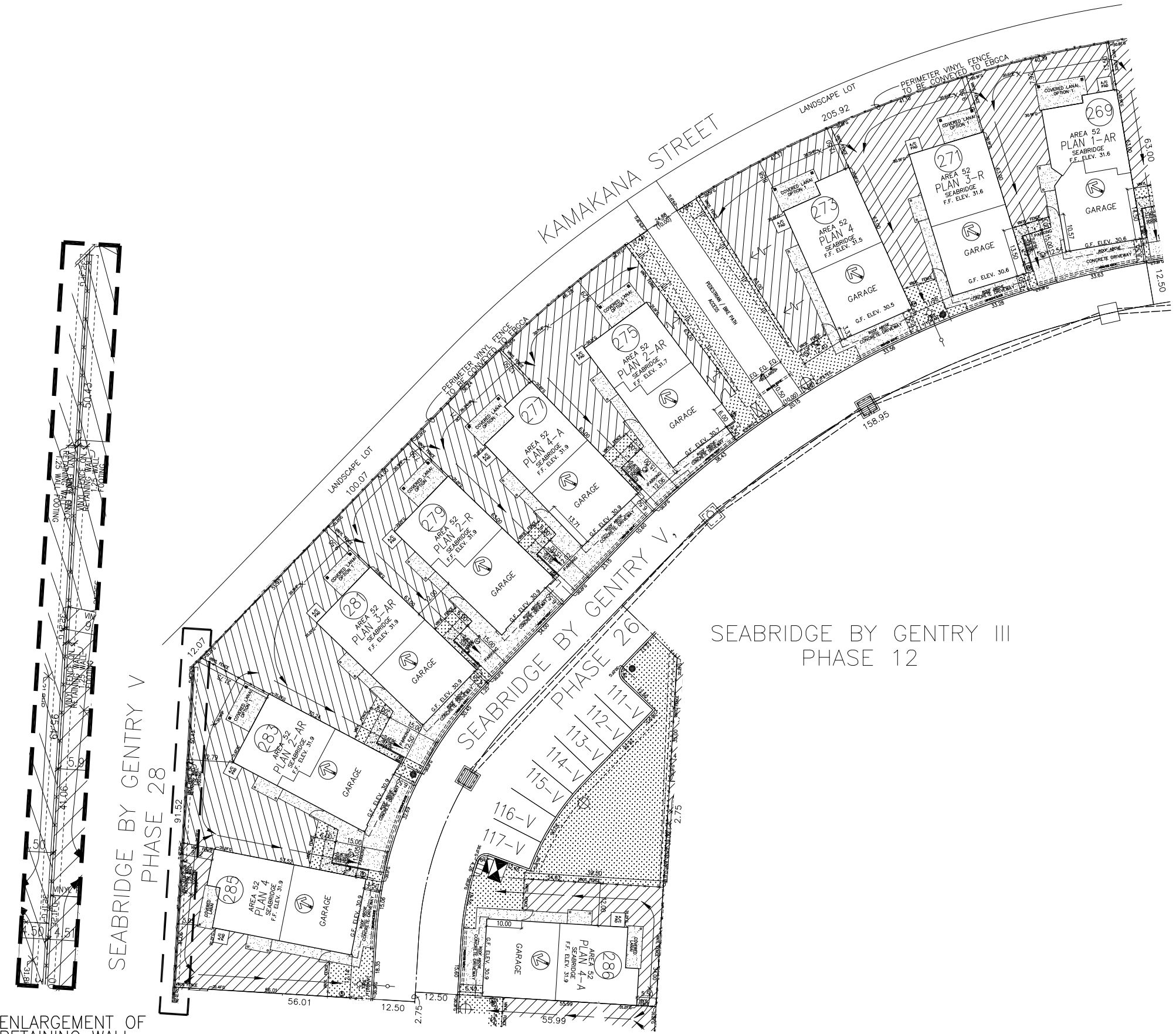
JOHN L. SHAW

LICENSED PROFESSIONAL ARCHITECT

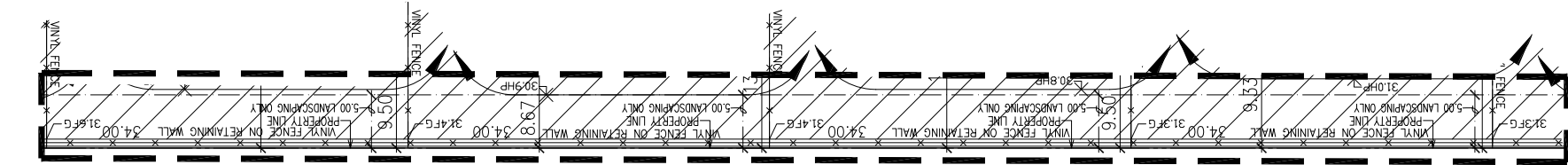
No. 5701

HAWAII, U.S.A.

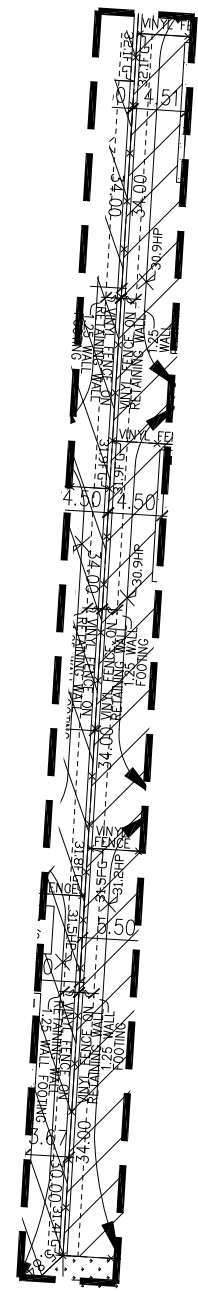
EWA by GENTRY AREA 52
SEABRIDGE BY GENTRY V



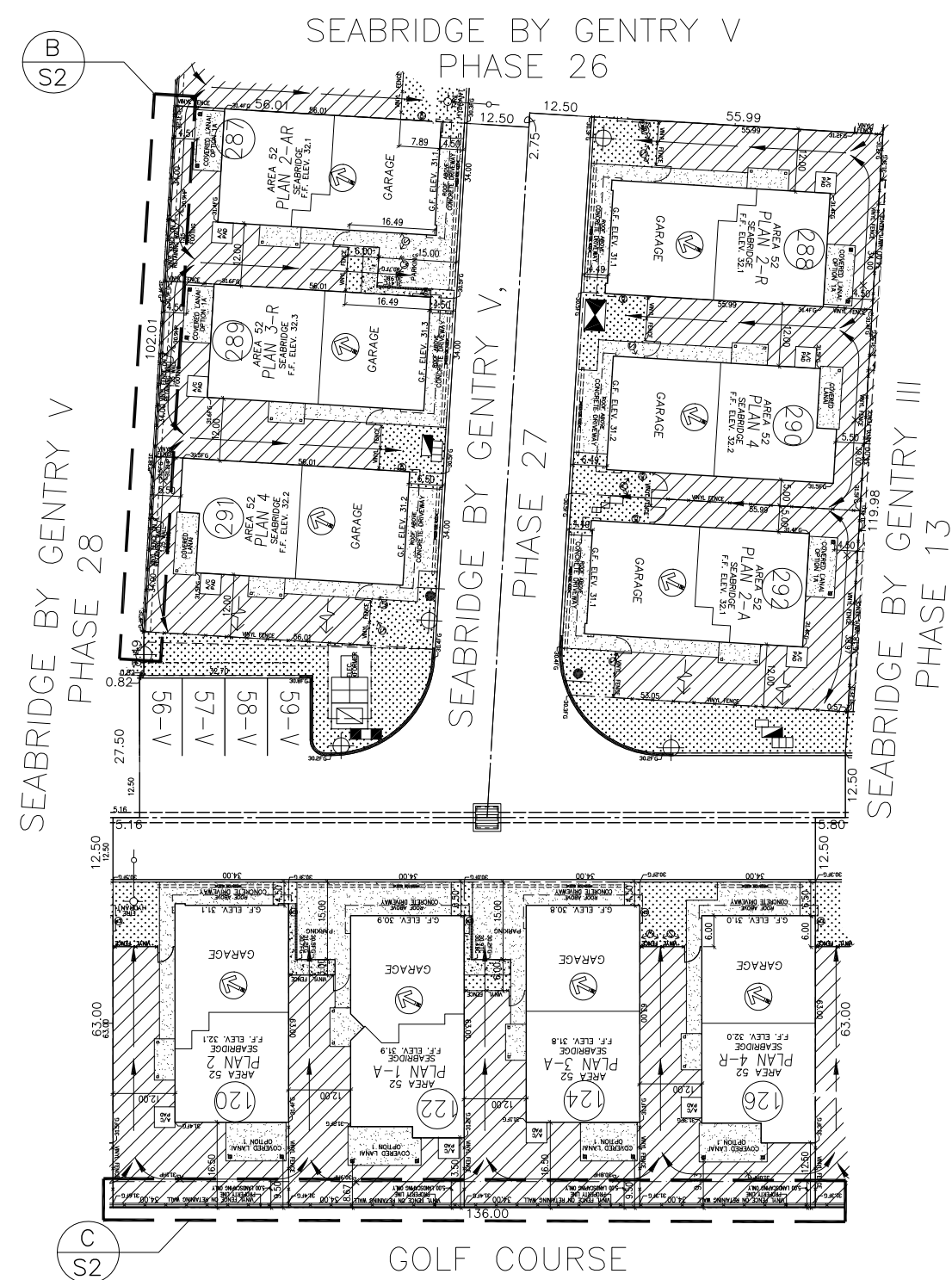
EWA by GENTRY AREA 52
SEABRIDGE BY GENTRY V



C
S2
ENLARGEMENT OF RETAINING WALL
SCALE: 1"=16'

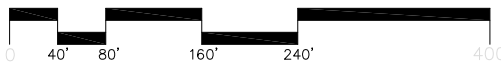


B
S2
ENLARGEMENT OF RETAINING WALL
SCALE: 1"=16'



- LEGEND:
- APPROX. LIMIT OF YARD AREA (LIMITED COMMON ELEMENT)
 - APPROXIMATE LIMIT OF ASSOCIATION LANDSCAPING (COMMON ELEMENT)
 - APPROXIMATE LOCATION OF CONC. DRIVEWAY, WALKWAY, & PARKING (LIMITED COMMON ELEMENT)
 - APPROXIMATE LIMIT OF ASSOCIATION GRAVEL (COMMON ELEMENT)
 - APPROX. SWALE (DIRECTION OF DRAINAGE)
 - APPROX. SEWER LINE LOCATION
 - APPROX. WATER LINE LOCATION
 - APPROX. ELECT. METER LOCATION
 - APPROX. LOCATION OF STREET LIGHT
 - VISITORS PARKING
 - AIR CONDITIONING PAD
 - TRASH LOCATION
 - DRAIN
 - APPROX. LOCATION OF SIGN
 - HECO (HAWAIIAN ELECTRIC)
 - HTCO (HAWAIIAN TELCOM)
 - CATV (CABLE)
 - STREET LIGHT ELECTRICAL BOX
 - METERING EQUIPMENT & CABINET

- NOTES:
- WALKWAYS, DRIVEWAYS, OPT. PARKING, AND FENCED YARD SIZES, LOCATIONS, & CONFIGURATIONS MAY VARY DUE TO JOBSITE CONDITIONS.
 - ACTUAL LOCATIONS OF UTILITIES, COMMON ELEMENTS, LIMITED COMMON ELEMENTS, FENCES, AND OTHER FEATURES MAY VARY DUE TO ON SITE CONDITIONS.
 - PLAN #-R IS REVERSE FLOOR PLAN
 - NO AUTOMATIC FIRE SPRINKLER/IRRIGATION ON METER



A
S2
ENLARGE PARTIAL SITE PLAN
SCALE: 1"=32'

JOHN L. SHAW
REGISTERED PROFESSIONAL ARCHITECT
No. 5701
HAWAII, U.S.A.

DATE: 04-30-20

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REFERENCE NO.: /arch2/area52 SEABRIDGE/CPR/area52.S2

DATE: 04-30-20

REVISIONS

NO.	DATE	DESCRIPTION
1		
2		
3		
4		
5		

AREA 52 "SEABRIDGE BY GENTRY V"

CPR SET PHASE 27

ENLARGE PARTIAL SITE PLAN

DRAWN BY: JM

DATE: 02/19/19

SHEET NUMBER: 52

3 OF 5 SHEETS

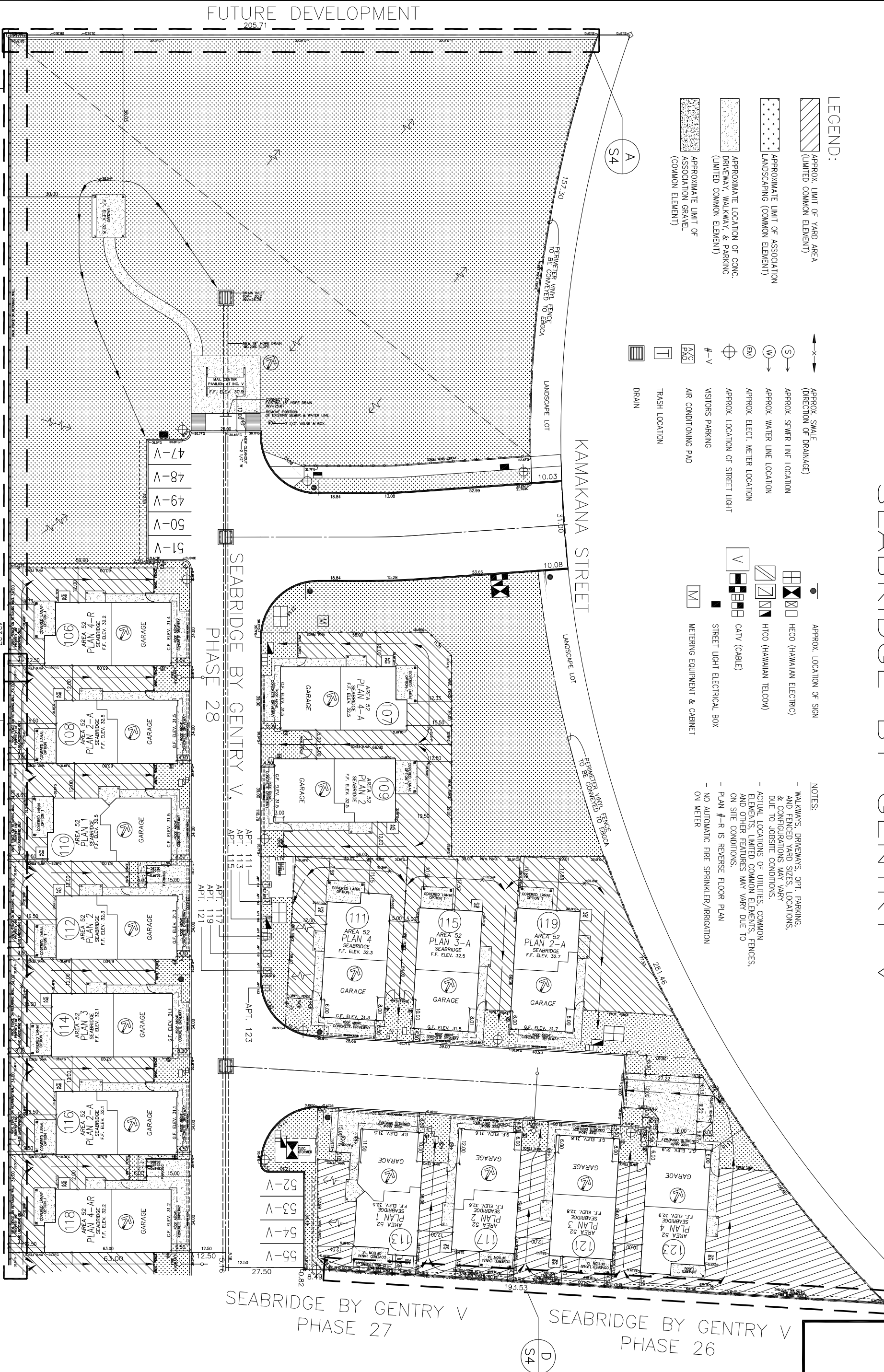
EWA by GENTRY AREA 52
SEABRIDGE BY GENTRY V

LEGEND:

- APPROX. LIMIT OF YARD AREA (LIMITED COMMON ELEMENT)
- APPROXIMATE LIMIT OF ASSOCIATION LANDSCAPING (COMMON ELEMENT)
- APPROXIMATE LOCATION OF CONC. DRIVEWAY, WALKWAY, & PARKING (LIMITED COMMON ELEMENT)
- APPROXIMATE LIMIT OF ASSOCIATION GRAVEL (COMMON ELEMENT)
- APPROX. SWALE (DIRECTION OF DRAINAGE)
- APPROX. SEWER LINE LOCATION
- APPROX. WATER LINE LOCATION
- APPROX. ELEC. METER LOCATION
- APPROX. LOCATION OF STREET LIGHT
- APPROX. LOCATION OF SIGN
- HECO (HAWAIIAN ELECTRIC)
- HTCO (HAWAIIAN TELCOM)
- CATV (CABLE)
- STREET LIGHT ELECTRICAL BOX
- METERING EQUIPMENT & CABINET
- VISITORS PARKING
- AIR CONDITIONING PAD
- TRASH LOCATION
- DRAIN

NOTES:

- WALKWAYS, DRIVEWAYS, OPT. PARKING, AND FENCED YARD SITES, LOCATIONS, & CONFIGURATIONS MAY VARY DUE TO JOBSITE CONDITIONS.
- ACTUAL LOCATIONS OF UTILITIES, COMMON ELEMENTS, LIMITED COMMON ELEMENTS, AND OTHER FEATURES MAY VARY DUE TO ON SITE CONDITIONS.
- PLAN # - R IS REVERSE FLOOR PLAN
- NO AUTOMATIC FIRE SPRINKLER/IRRIGATION ON METER



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REFERENCE: No./arch2/area52 SEABRIDGE/CPR/A52-CPR_Inc5_Ph28

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John L. Shaw DATE: 04-30-20

JOHN L. SHAW
LICENSED PROFESSIONAL ARCHITECT
No. 5701
HAWAII, U.S.A.

REVISIONS		
NO.	DATE	DESCRIPTION
1		
2		
3		
4		
5		

AREA 52 "SEABRIDGE BY GENTRY V"
CPR SET PHASE 28
ENLARGE PARTIAL SITE PLAN

DRAWN BY: JM
DATE: 02/19/19

EWA by GENTRY AREA 52
SEABRIDGE BY GENTRY V

LEGEND:

APPROX. LIMIT OF YARD AREA
(LIMITED COMMON ELEMENT)

APPROXIMATE LIMIT OF ASSOCIATION
LANDSCAPING (COMMON ELEMENT)

APPROXIMATE LOCATION OF CONC.
DRIVEWAY, WALKWAY, & PARKING
(LIMITED COMMON ELEMENT)

APPROXIMATE LIMIT OF
ASSOCIATION GRAVEL
(COMMON ELEMENT)

APPROX. SWALE
(DIRECTION OF DRAINAGE)

APPROX. SEWER LINE LOCATION

APPROX. WATER LINE LOCATION

APPROX. ELECT. METER LOCATION

APPROX. LOCATION OF STREET LIGHT

VISITORS PARKING

AIR CONDITIONING PAD

TRASH LOCATION

DRAIN

APPROX. LOCATION OF SIGN

HECO (HAWAIIAN ELECTRIC)

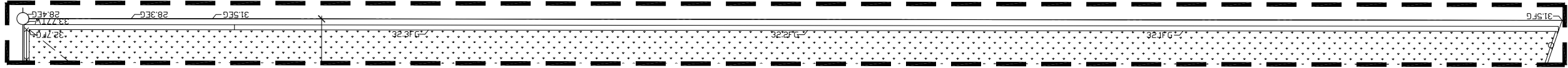
HTCO (HAWAIIAN TELCOM)

CATV (CABLE)

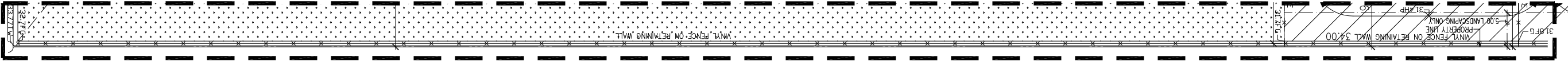
STREET LIGHT ELECTRICAL BOX

METERING EQUIPMENT & CABINET

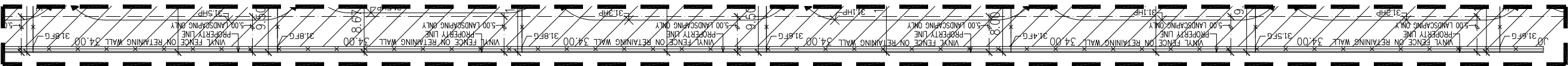
- NOTES:
- WALKWAYS, DRIVEWAYS, OPT. PARKING, AND FENCED YARD SIZES, LOCATIONS, & CONFIGURATIONS MAY VARY DUE TO JOBSITE CONDITIONS.
 - ACTUAL LOCATIONS OF UTILITIES, COMMON ELEMENTS, LIMITED COMMON ELEMENTS, FENCES, AND OTHER FEATURES MAY VARY DUE TO ON SITE CONDITIONS.
 - PLAN #-R IS REVERSE FLOOR PLAN
 - NO AUTOMATIC FIRE SPRINKLER/IRRIGATION ON METER



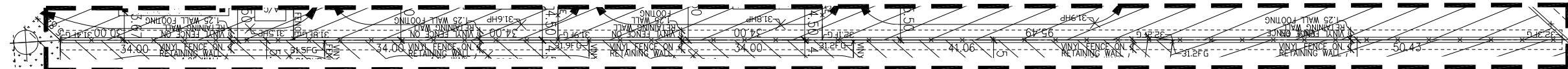
ENLARGEMENT OF
RETAINING WALL
A
S4
SCALE: 1"=16'



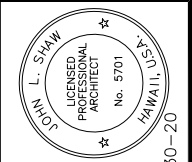
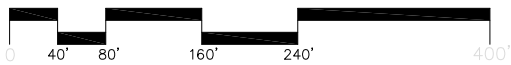
ENLARGEMENT OF
RETAINING WALL
B
S4
SCALE: 1"=16'



ENLARGEMENT OF
RETAINING WALL
C
S4
SCALE: 1"=16'



ENLARGEMENT OF
RETAINING WALL
D
S4
SCALE: 1"=16'



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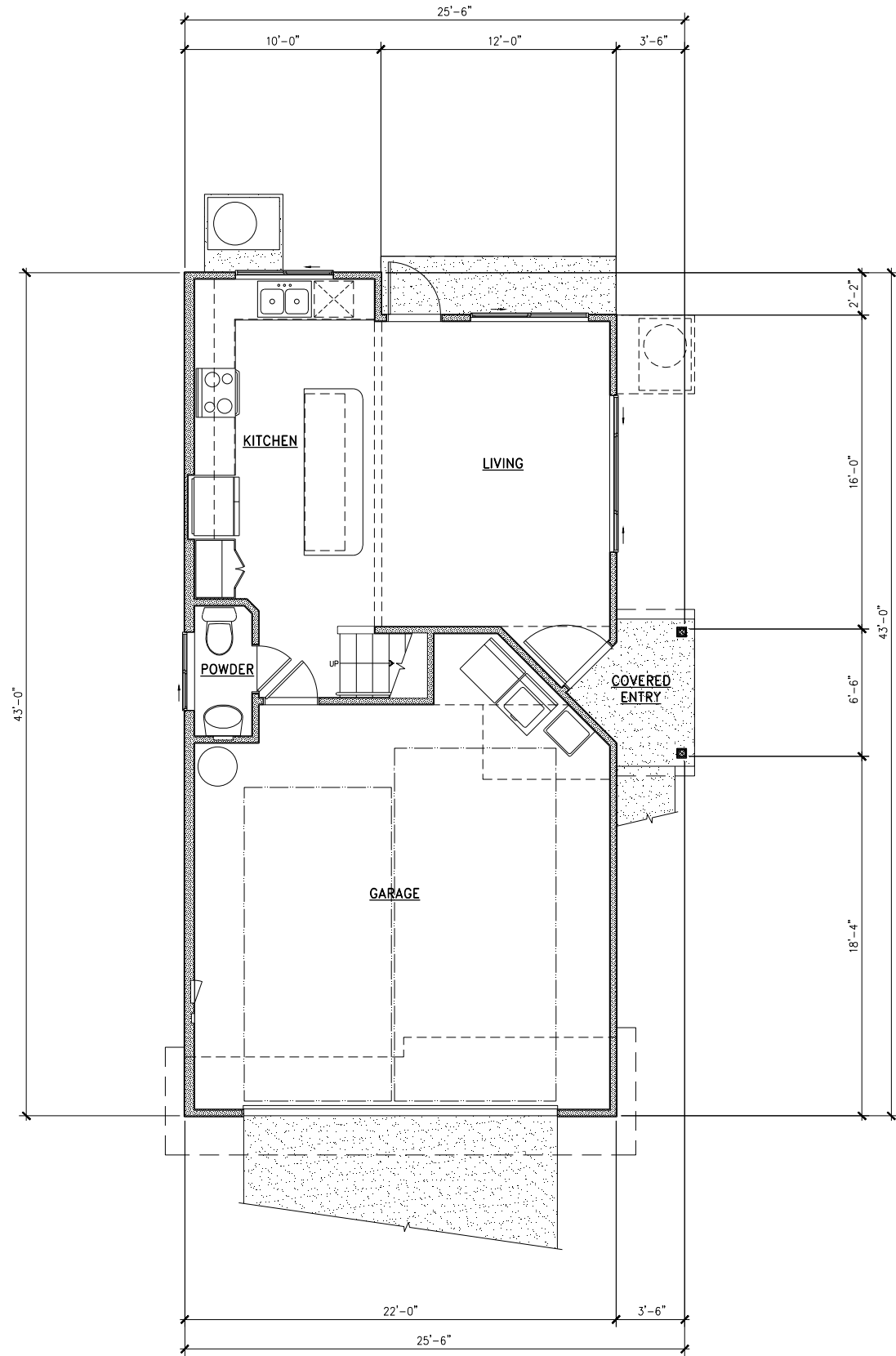
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REFERENCE NO. /arch2/area52 SEABRIDGE/CPR/AS2-CPR_Inv5_S28

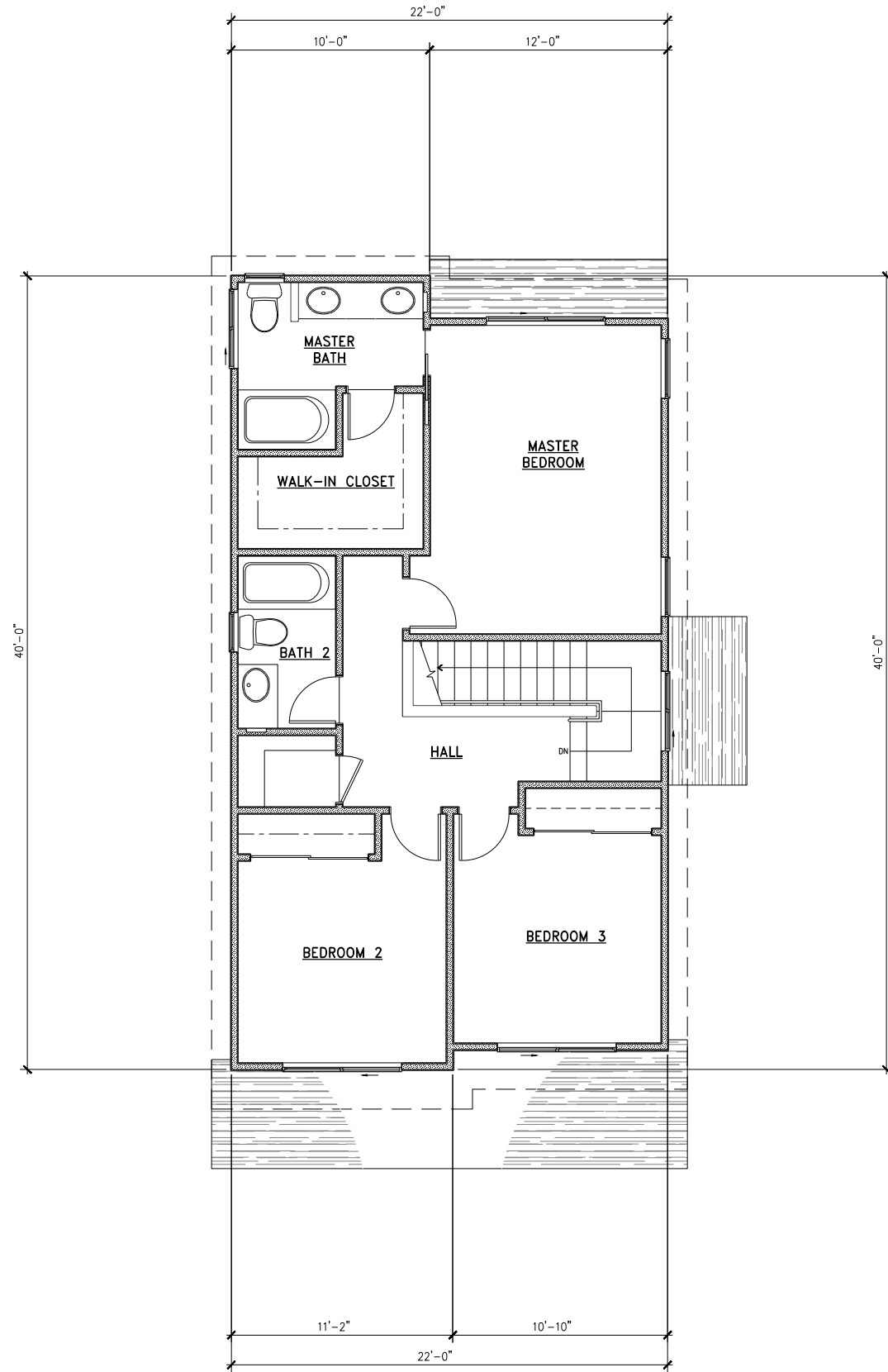
REVISIONS	
NO.	DESCRIPTION

AREA 52 "SEABRIDGE BY GENTRY V"
CPR SET - PHASE 28
ENLARGE PARTIAL SITE PLAN

DRAWN BY: JM
DATE: 02/19/19



FIRST FLOOR PLAN
1/4" = 1'-0"



SECOND FLOOR PLAN
1/4" = 1'-0"

ROSS YAMAMOTO
LICENSED
PROFESSIONAL
ARCHITECT
No. 6427
HAWAII, U.S.A.

**ROSS ARCHITECTS, LLC**
4770 MAKAHALEI DRIVE
KAPANEHE, HAWAII 96744
(808) 225-7311

**GENTRY HOMES, LTD.**
733 BISHOP STREET, SUITE 1400
PACIFIC GUARDIAN CENTER, MAKAI TOWER
HONOLULU, HAWAII 96813
(808) 599-5558

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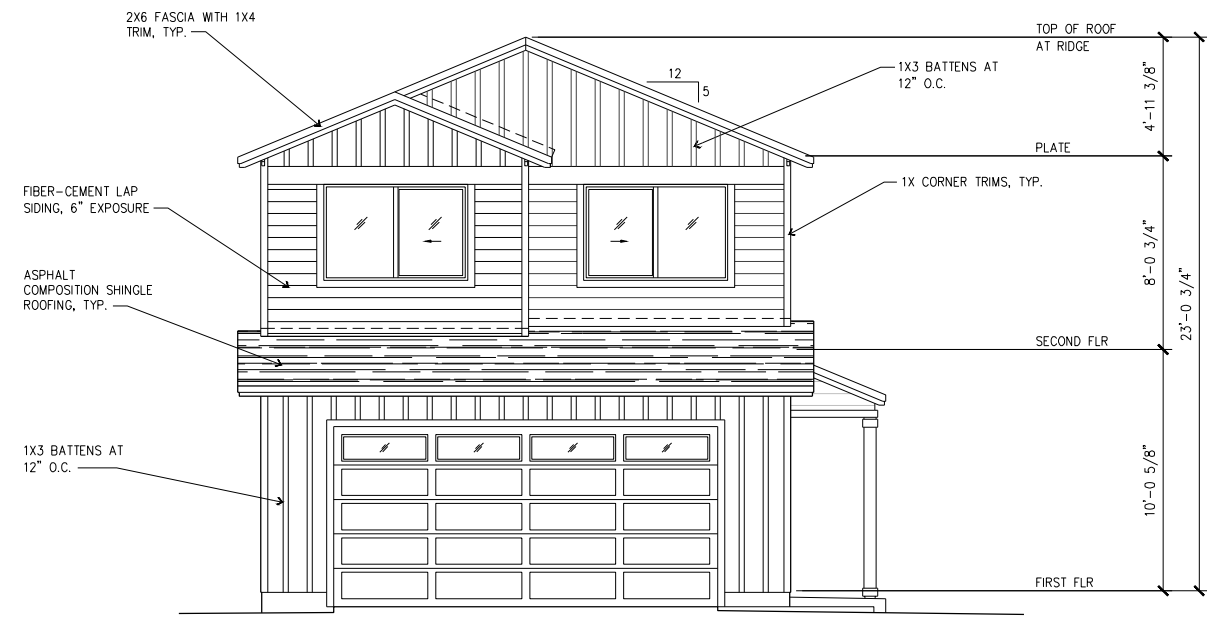
SEABRIDGE • CPR SET
PLAN 1

DRAWING DESCRIPTION
FIRST FLOOR PLAN
SECOND FLOOR PLAN

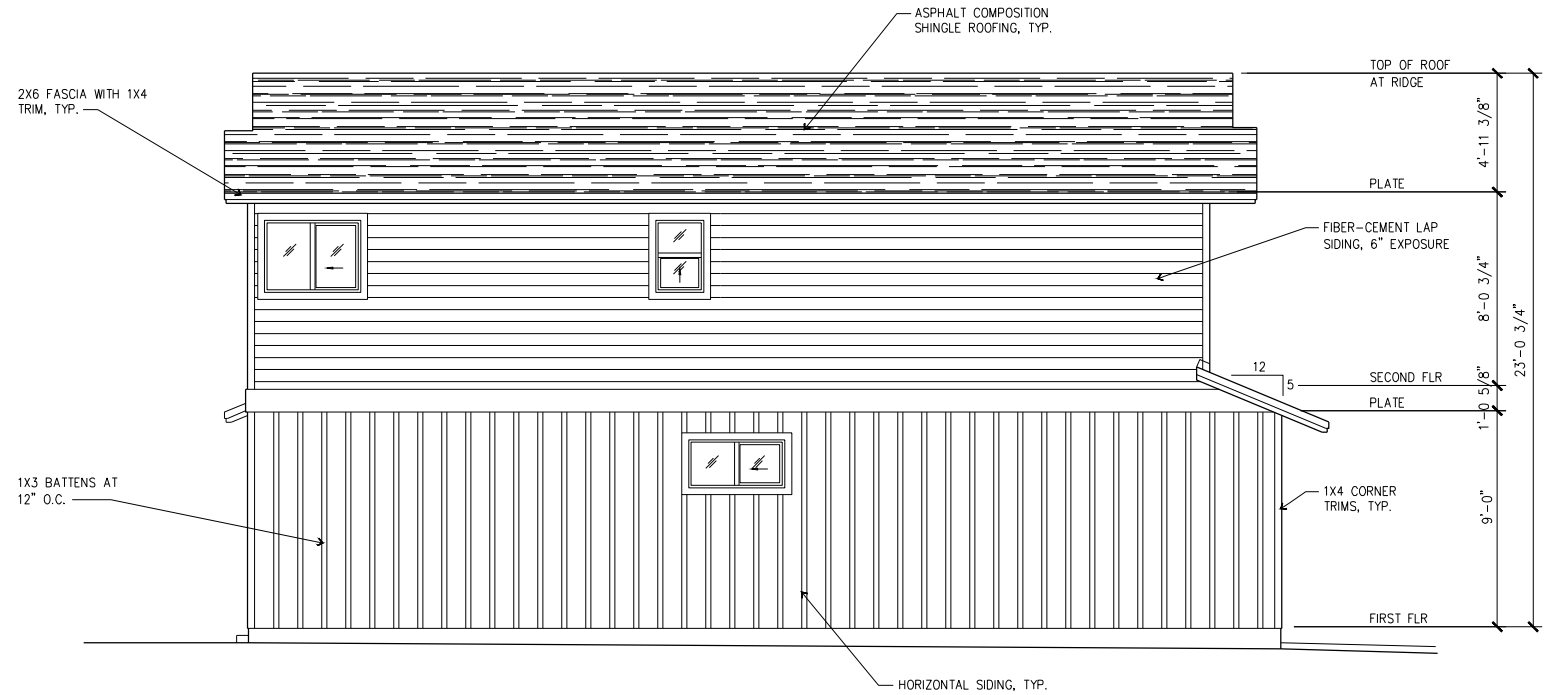
NO.	DATE	REVISIONS DESCRIPTION

DRAWN BY:
DATE: 3/4/16
SHEET NUMBER
1

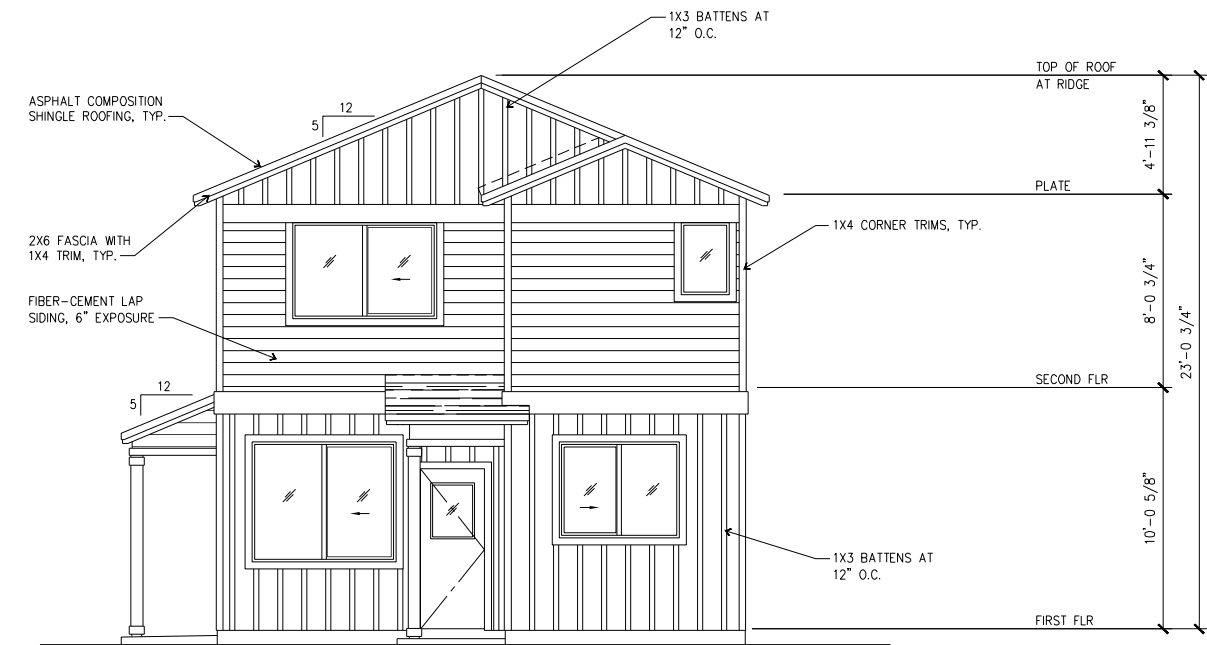
1 OF 18 SHEETS



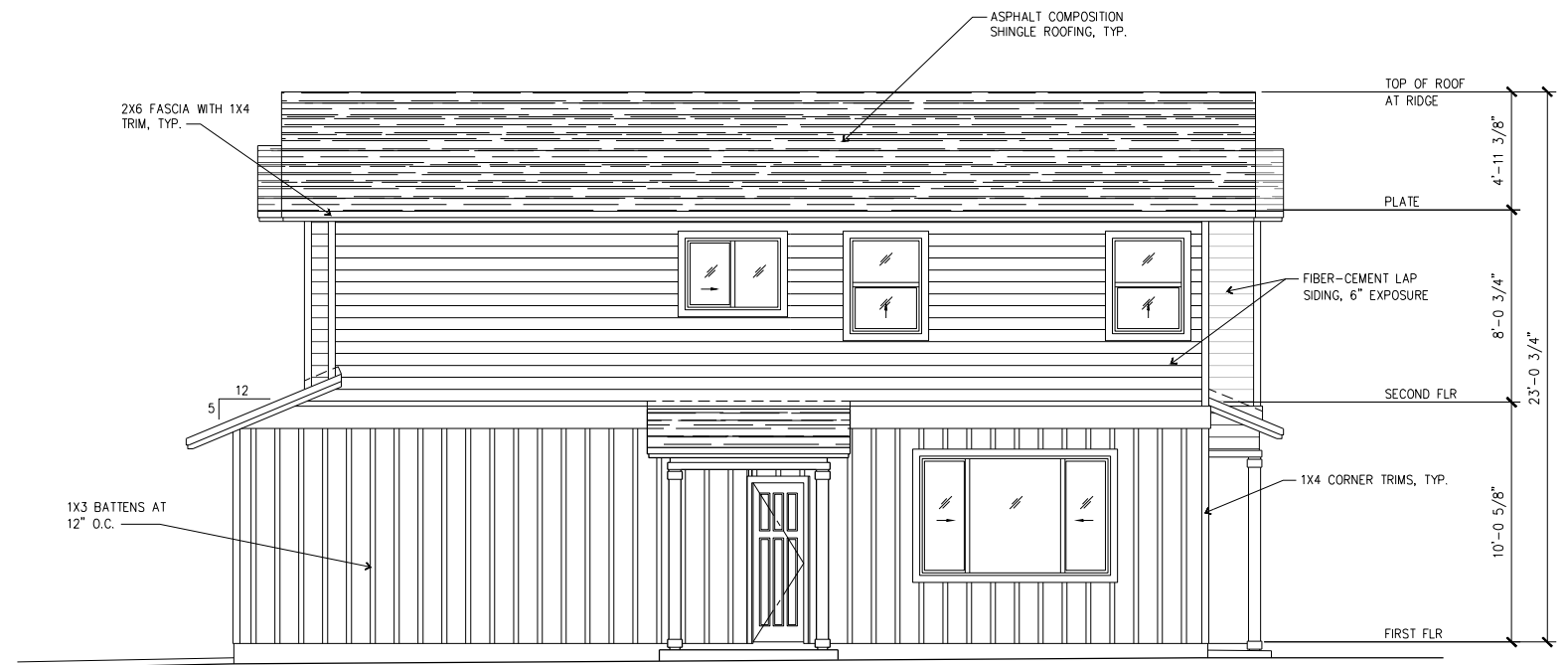
FRONT ELEVATION
1/4" = 1'-0"



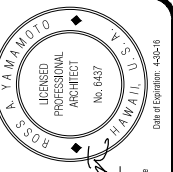
LEFT SIDE ELEVATION
1/4" = 1'-0"



REAR ELEVATION
1/4" = 1'-0"



RIGHT SIDE ELEVATION
1/4" = 1'-0"



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SEABRIDGE • CPR SET

PLAN 1
DRAWING DESCRIPTION
EXTERIOR ELEVATIONS

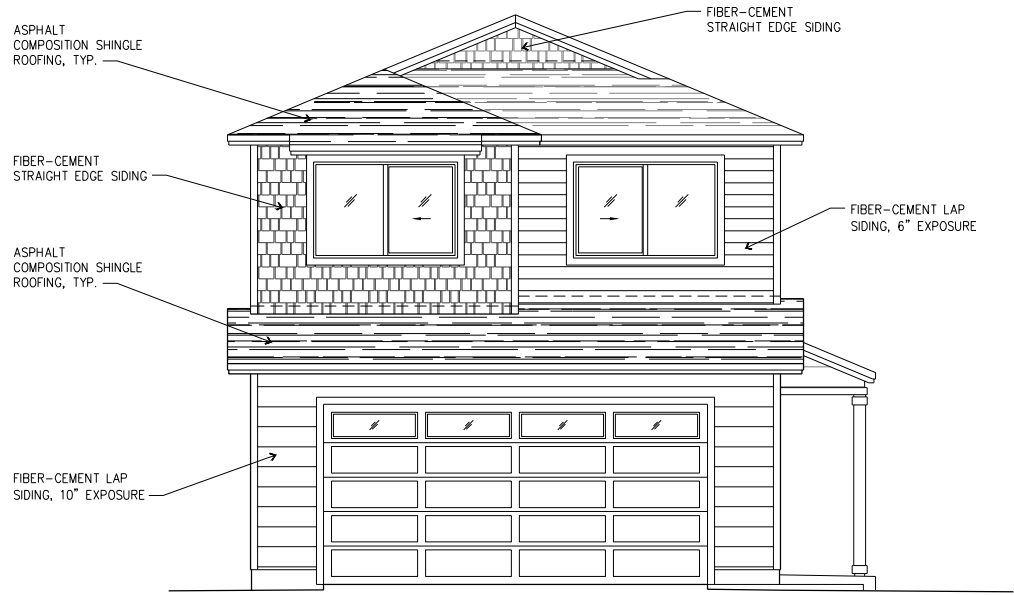
NO.	DATE	DESCRIPTION

DRAWN BY:
DATE: 3/4/16

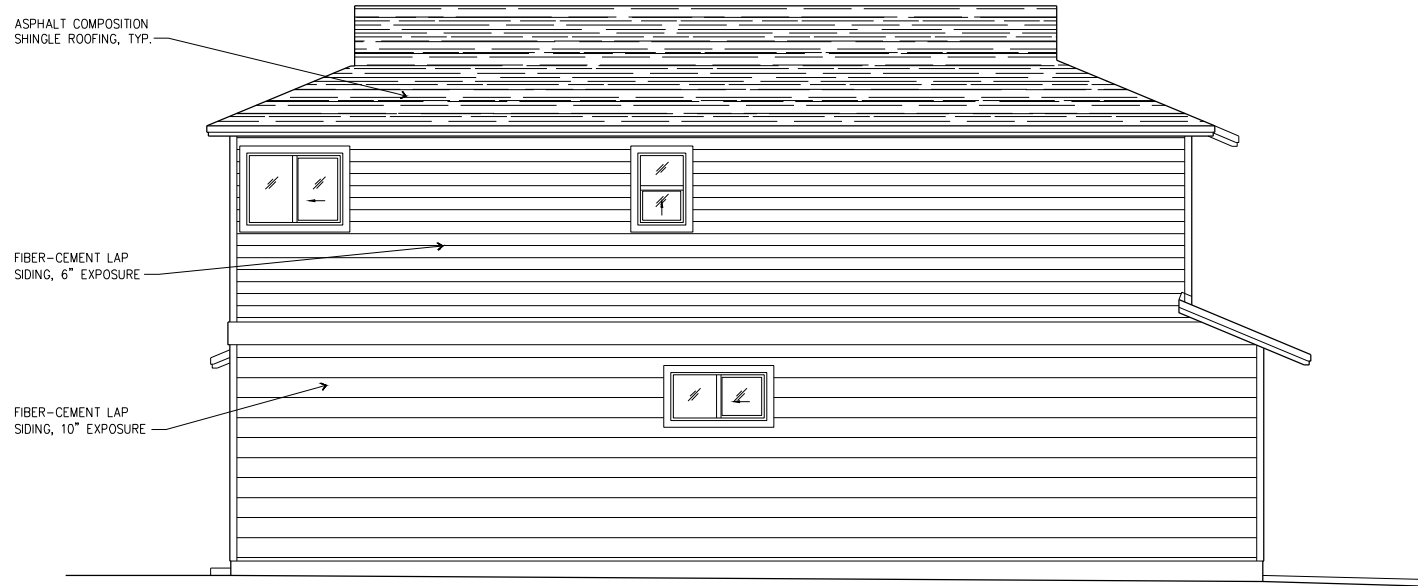
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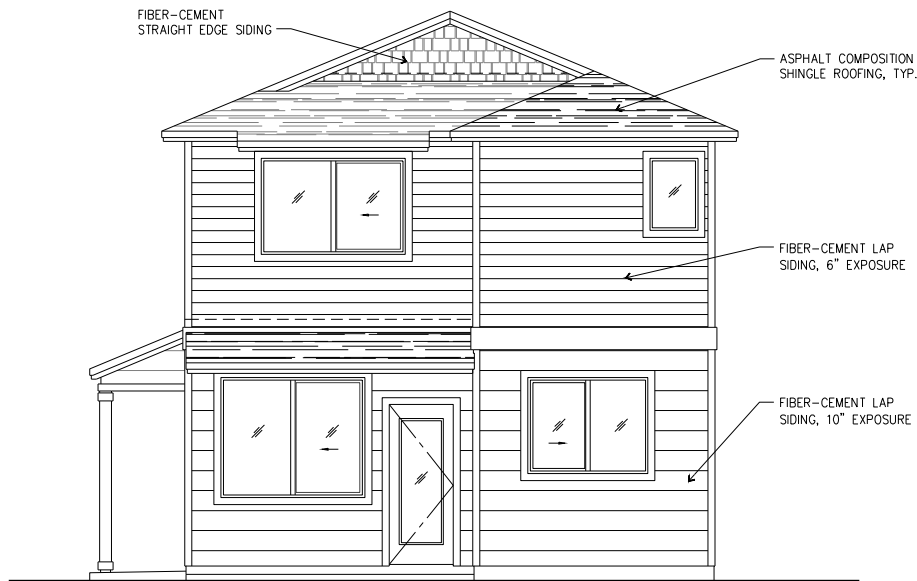
2 OF 18 SHEETS



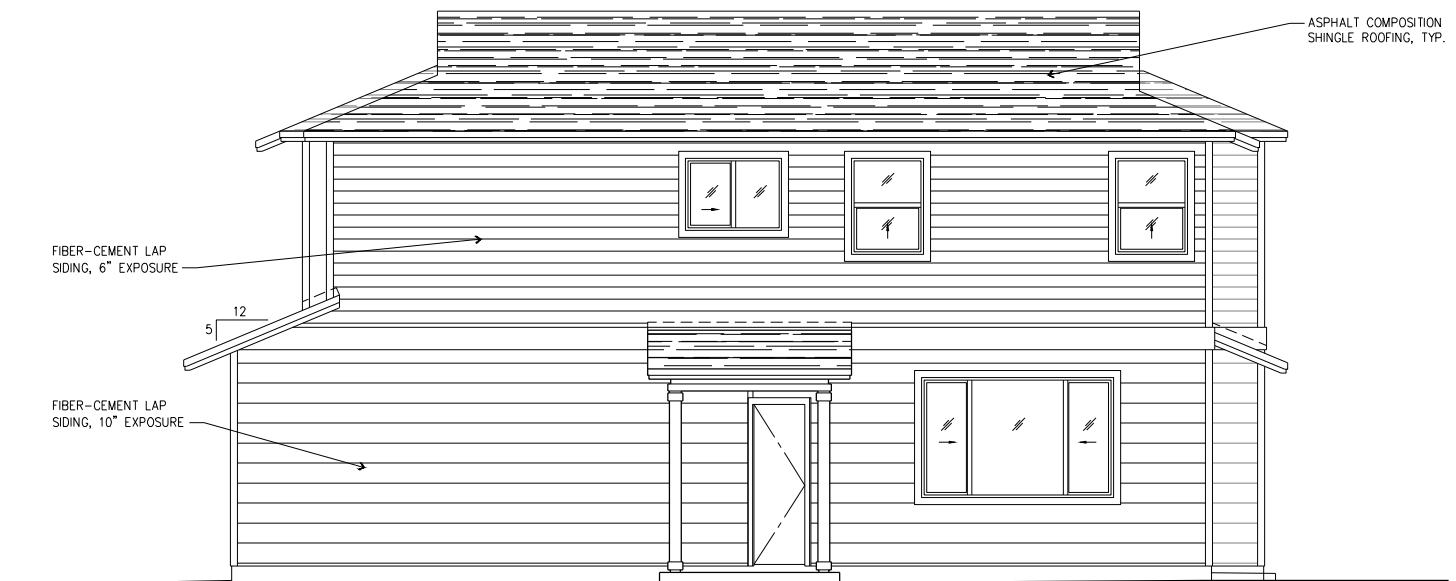
FRONT ELEVATION
1/4" = 1'-0"



LEFT SIDE ELEVATION
1/4" = 1'-0"



REAR ELEVATION
1/4" = 1'-0"



RIGHT SIDE ELEVATION
1/4" = 1'-0"



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PACIFIC GUARDIAN CENTER, MAKAI TOWER
HONOLULU, HAWAII 96813
(808) 599-5558



SEABRIDGE • CPR SET
PLAN 1
DRAWING DESCRIPTION
ALTERNATE EXTERIOR ELEVATIONS

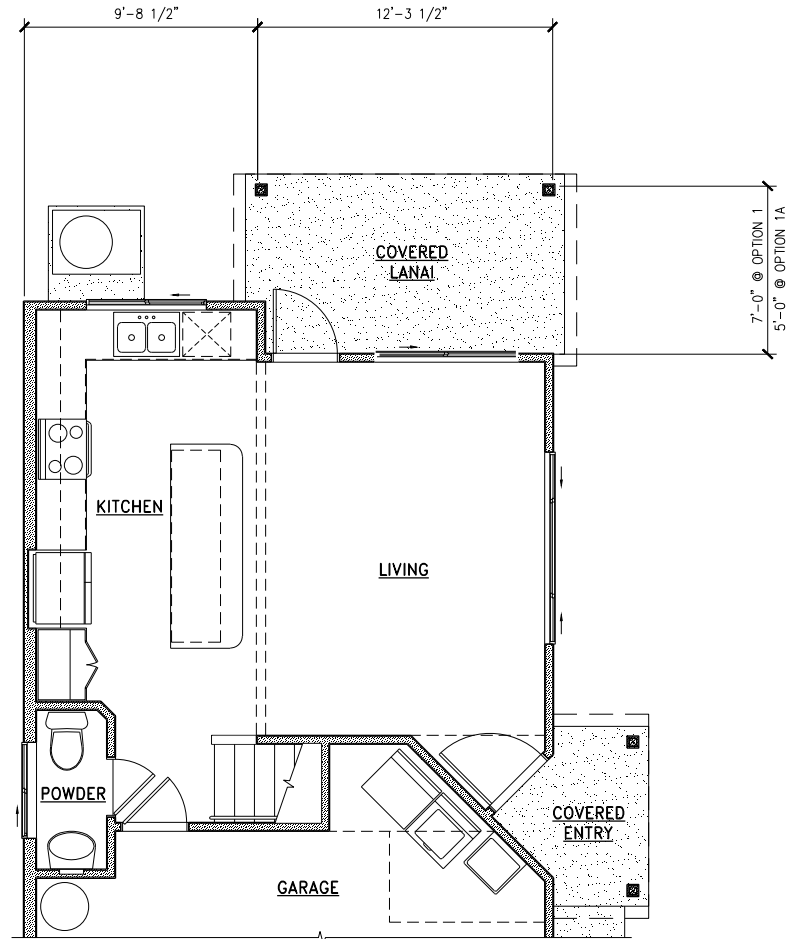
NO.	DATE	DESCRIPTION

DRAWN BY:
DATE: 3/4/16

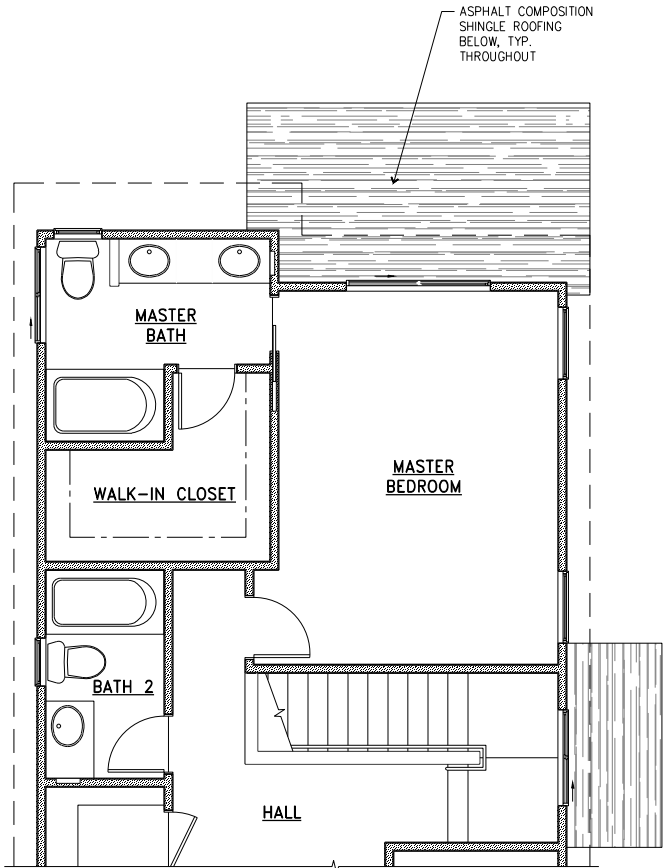
SHEET NUMBER

3

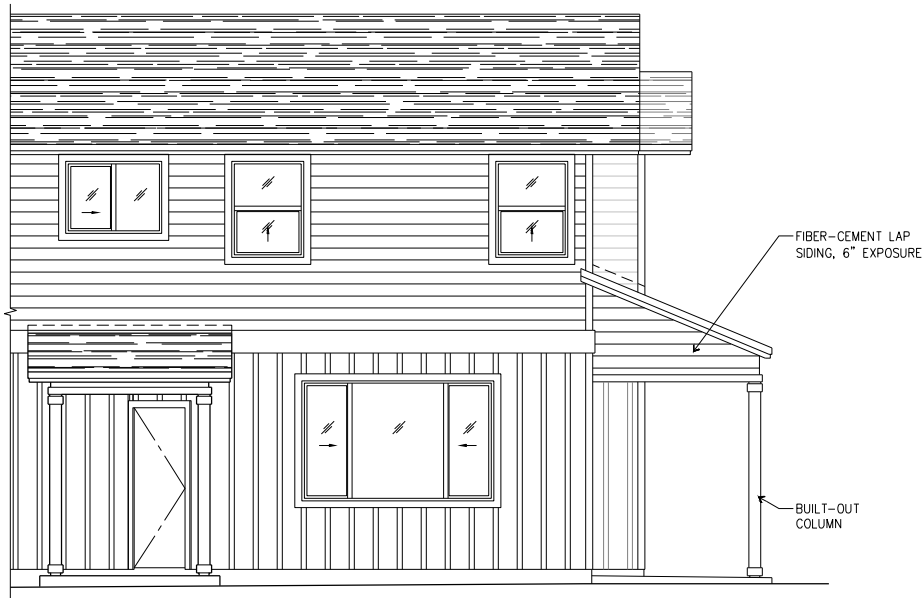
3 OF 18 SHEETS



PARTIAL FIRST FLOOR PLAN



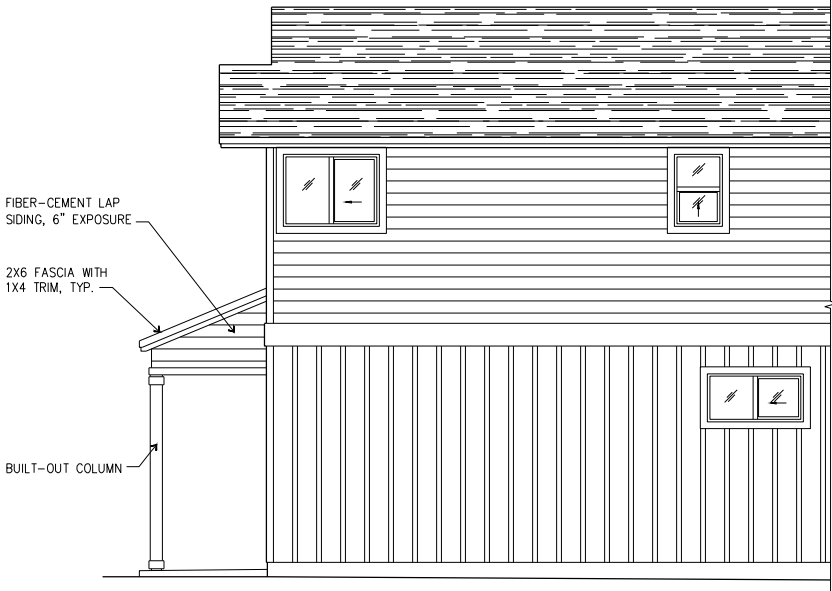
PARTIAL SECOND FLOOR PLAN



PARTIAL RIGHT SIDE ELEVATION



REAR ELEVATION



PARTIAL LEFT SIDE ELEVATION

OPTIONS 1 & 1A - COVERED LANAI

1/4" = 1'-0"

ROSS YAMAMOTO
LICENSED PROFESSIONAL ARCHITECT
No. 6437
STATE OF HAWAII

ROSS ARCHITECTS LLC
2720 MAKAHAU DRIVE
KAPANEHE, HAWAII 96744
(808) 625-3111

SEABRIDGE • CPR SET

PLAN 1

DRAWING DESCRIPTION
OPTIONS 1 & 1A - COVERED LANAI

NO.	DATE	DESCRIPTION

DRAWN BY:

DATE: 3/4/16

SHEET NUMBER

4

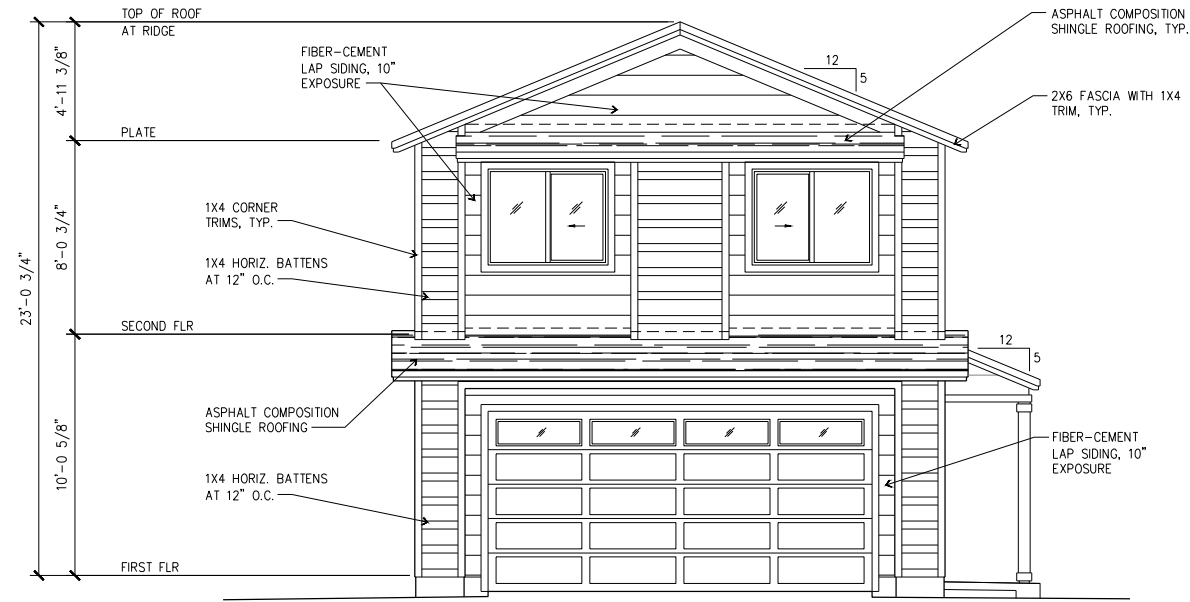
4 OF 18 SHEETS

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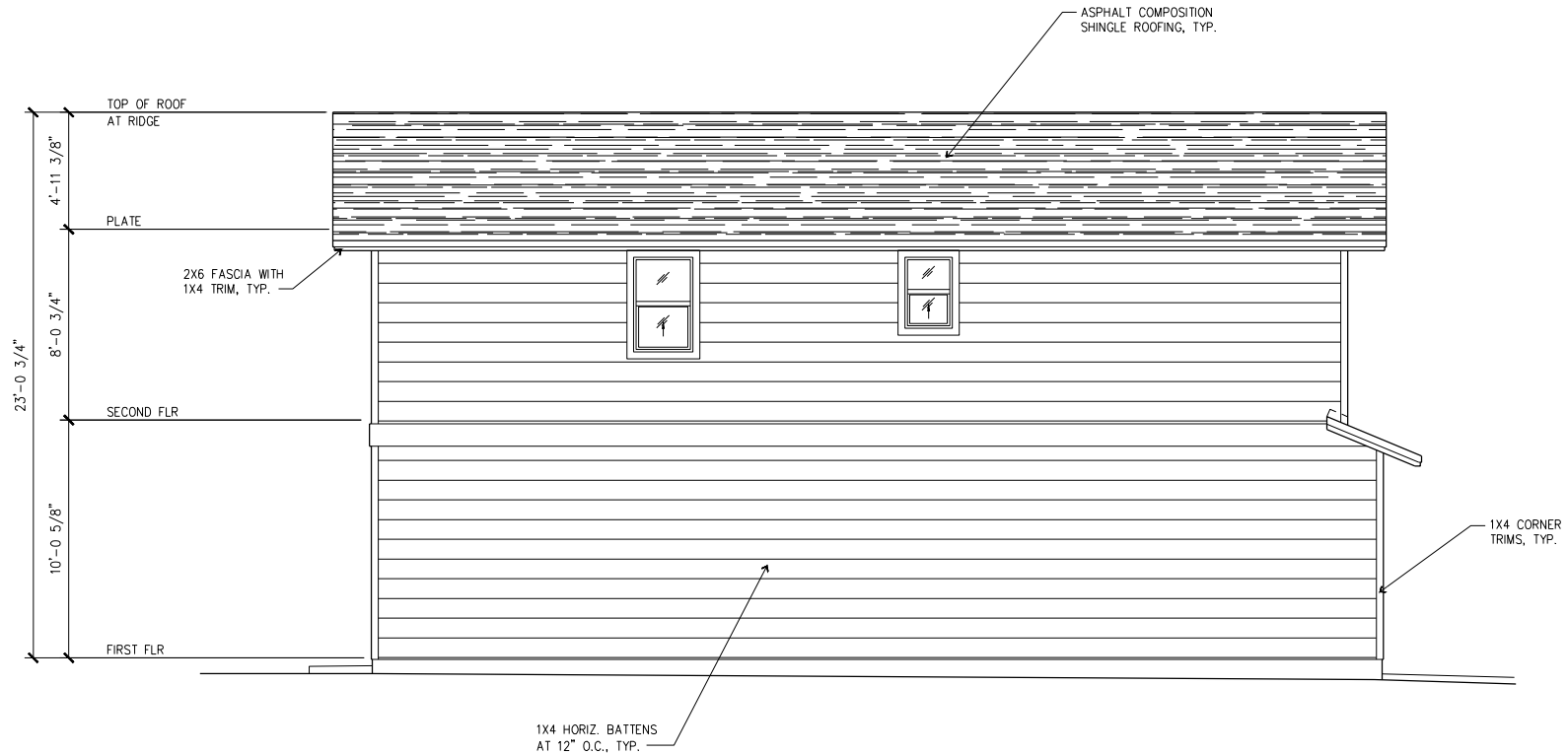
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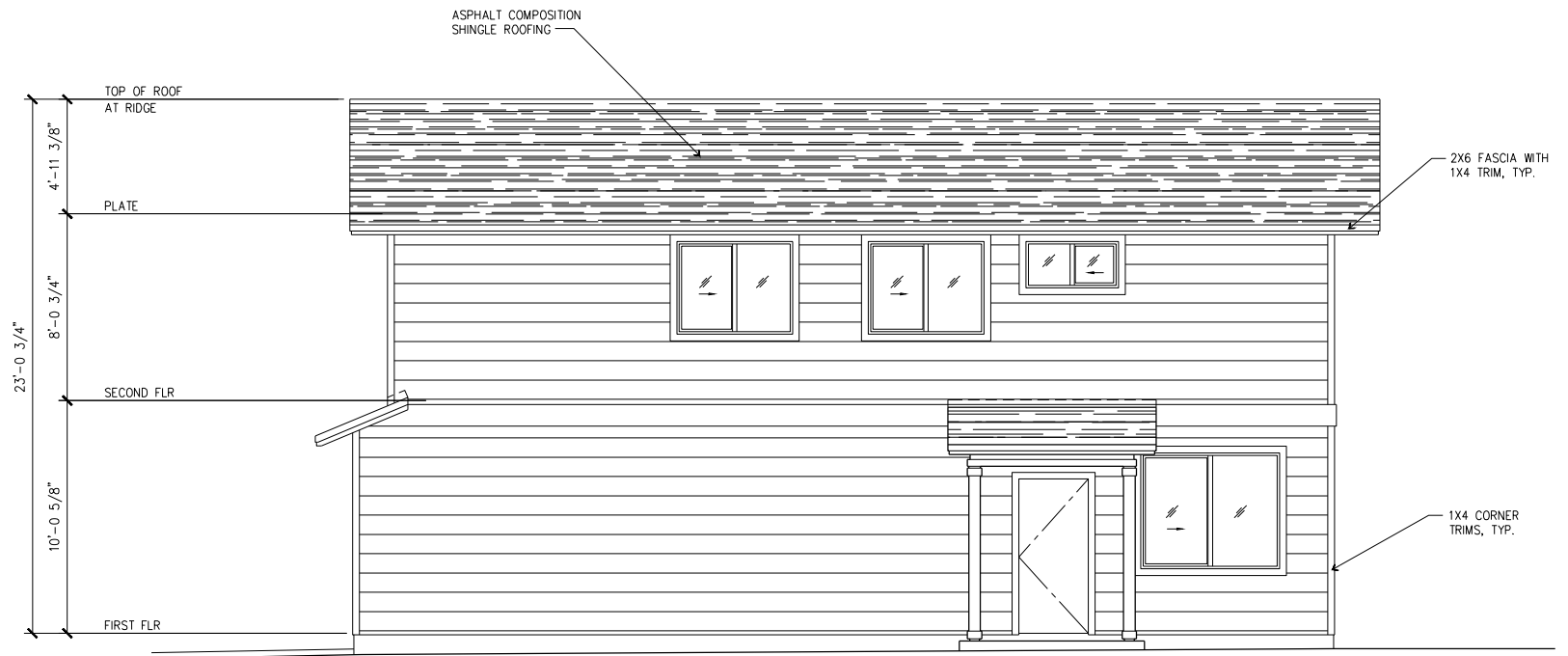
FRONT ELEVATION
1/4" = 1'-0"



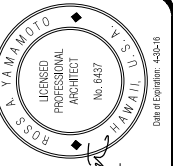
LEFT SIDE ELEVATION
1/4" = 1'-0"



REAR ELEVATION
1/4" = 1'-0"



RIGHT SIDE ELEVATION
1/4" = 1'-0"



SEABRIDGE • CPR SET
PLAN 2

DRAWING DESCRIPTION
EXTERIOR ELEVATIONS

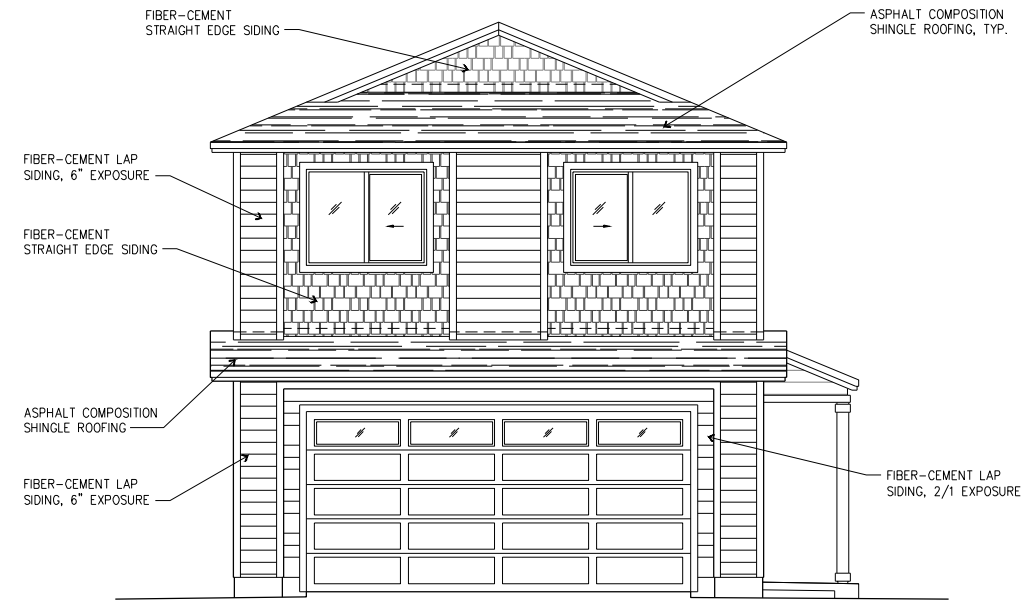
NO.	DATE	DESCRIPTION

DRAWN BY: 3/4/16

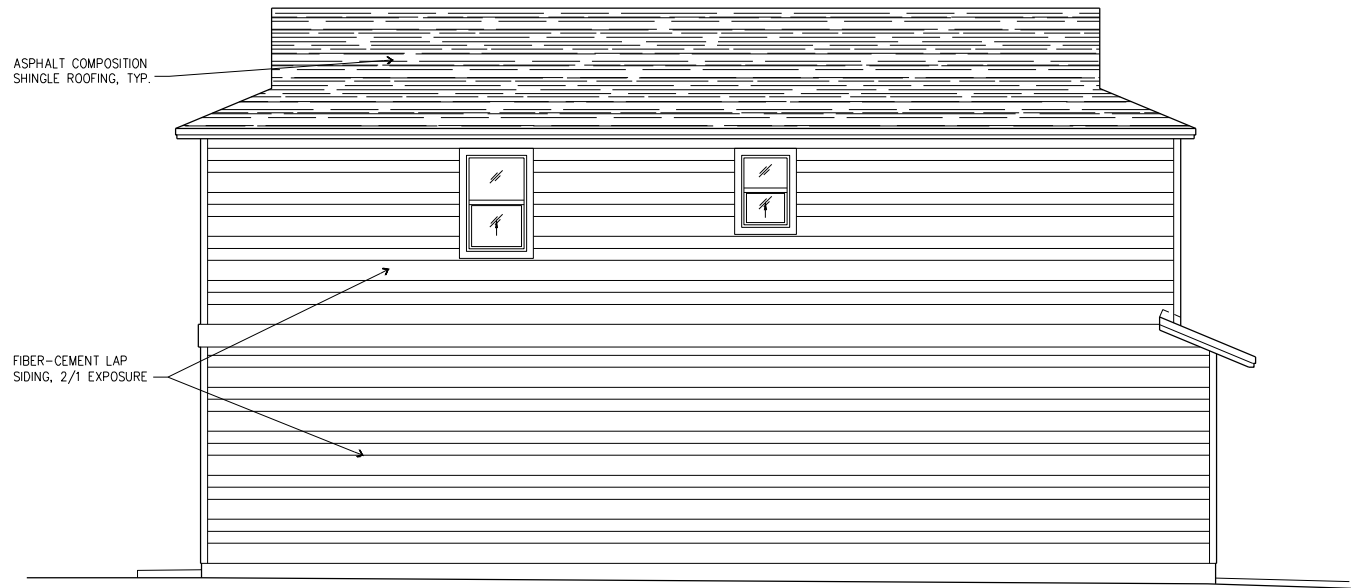
SHEET NUMBER

6

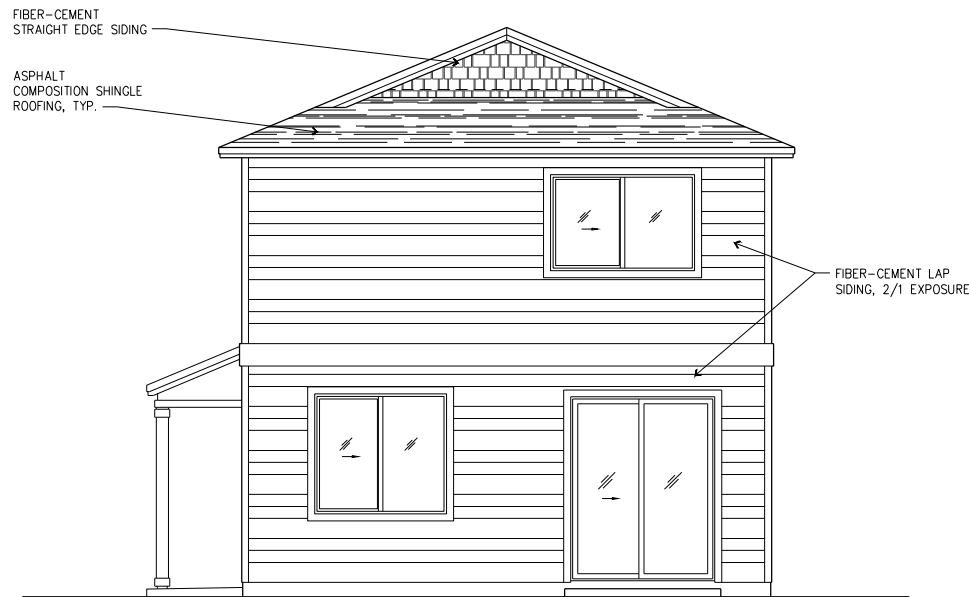
6 OF 18 SHEETS



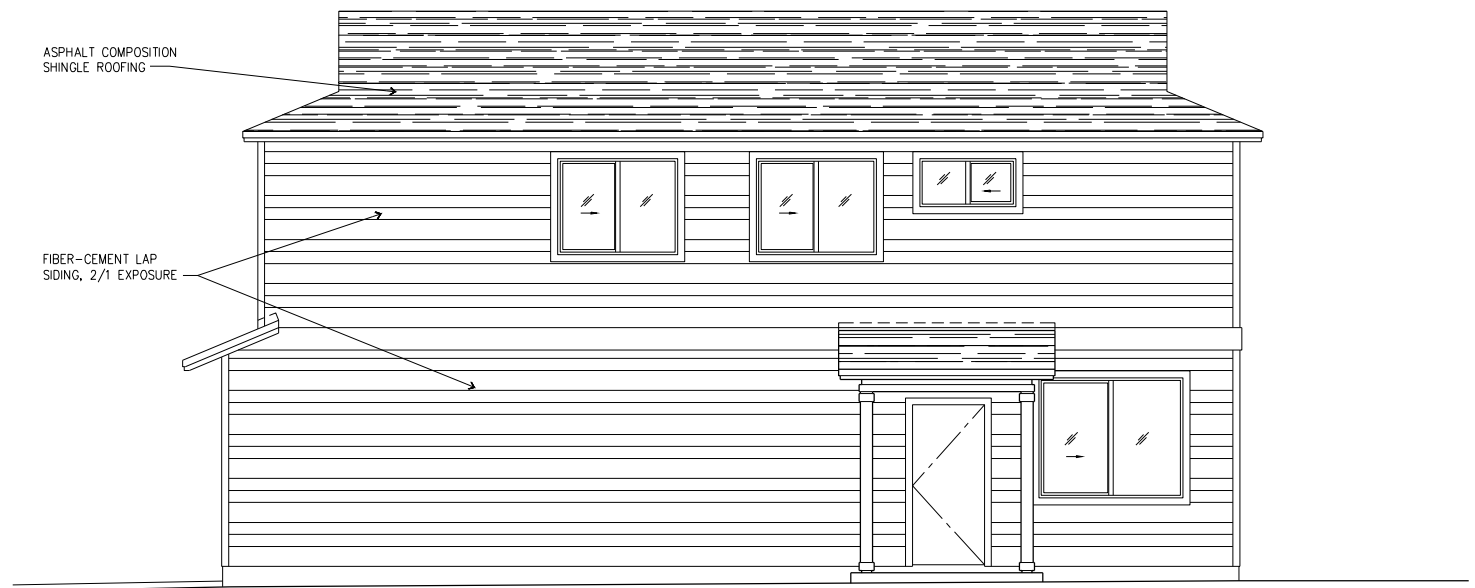
FRONT ELEVATION
1/4" = 1'-0"



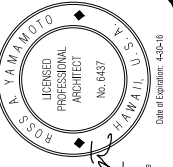
LEFT SIDE ELEVATION
1/4" = 1'-0"



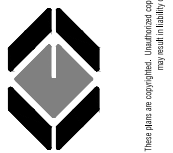
REAR ELEVATION
1/4" = 1'-0"



RIGHT SIDE ELEVATION
1/4" = 1'-0"



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SEABRIDGE • CPR SET
PLAN 2
DRAWING DESCRIPTION
ALTERNATE EXTERIOR ELEVATIONS

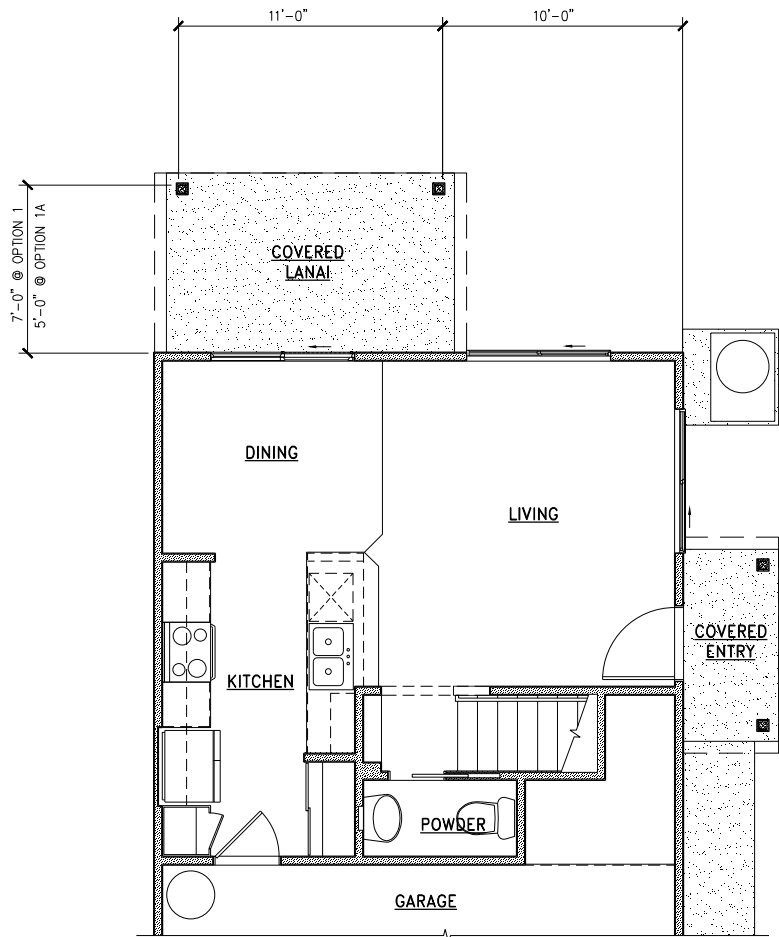
NO.	DATE	DESCRIPTION

DRAWN BY: 3/4/16
DATE: 3/4/16

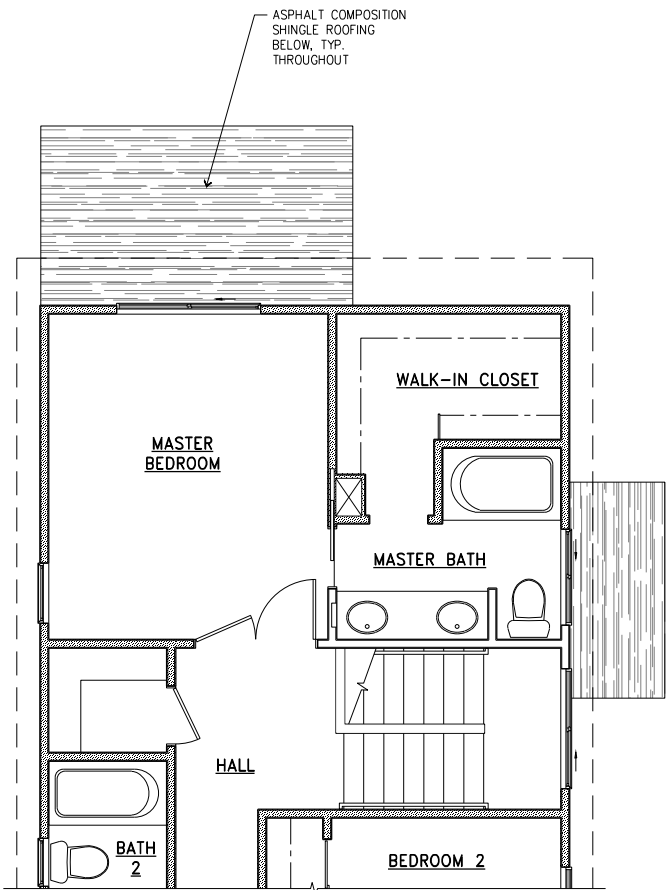
SHEET NUMBER

7

7 OF 18 SHEETS



PARTIAL FIRST FLOOR PLAN



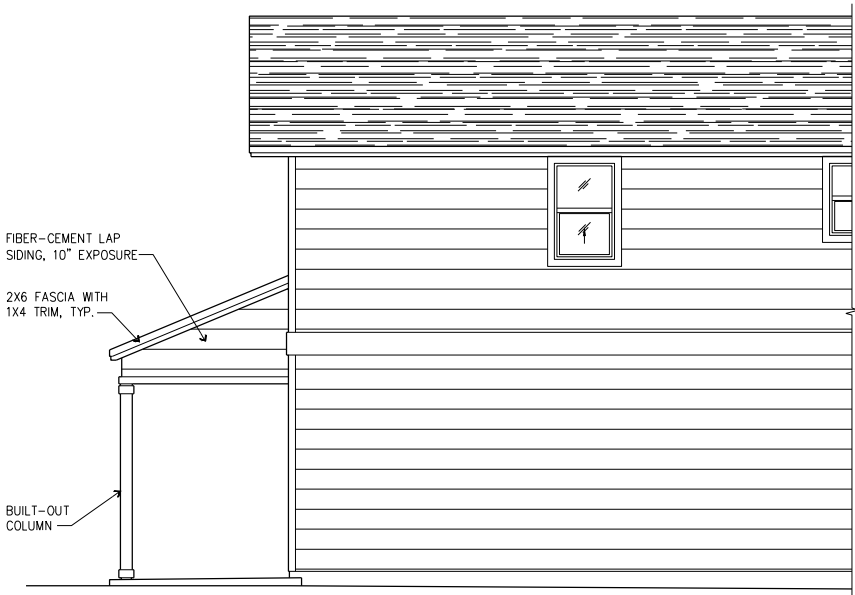
PARTIAL SECOND FLOOR PLAN



PARTIAL RIGHT SIDE ELEVATION



REAR ELEVATION



PARTIAL LEFT SIDE ELEVATION

OPTIONS 1 & 1A - COVERED LANAI
1/4" = 1'-0"

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PLAN 2

DRAWING DESCRIPTION

OPTIONS 1 & 1A - COVERED LANAI

NO.	DATE	DESCRIPTION

DRAWN BY:

DATE: 3/4/16

SHEET NUMBER

8

8 OF 18 SHEETS

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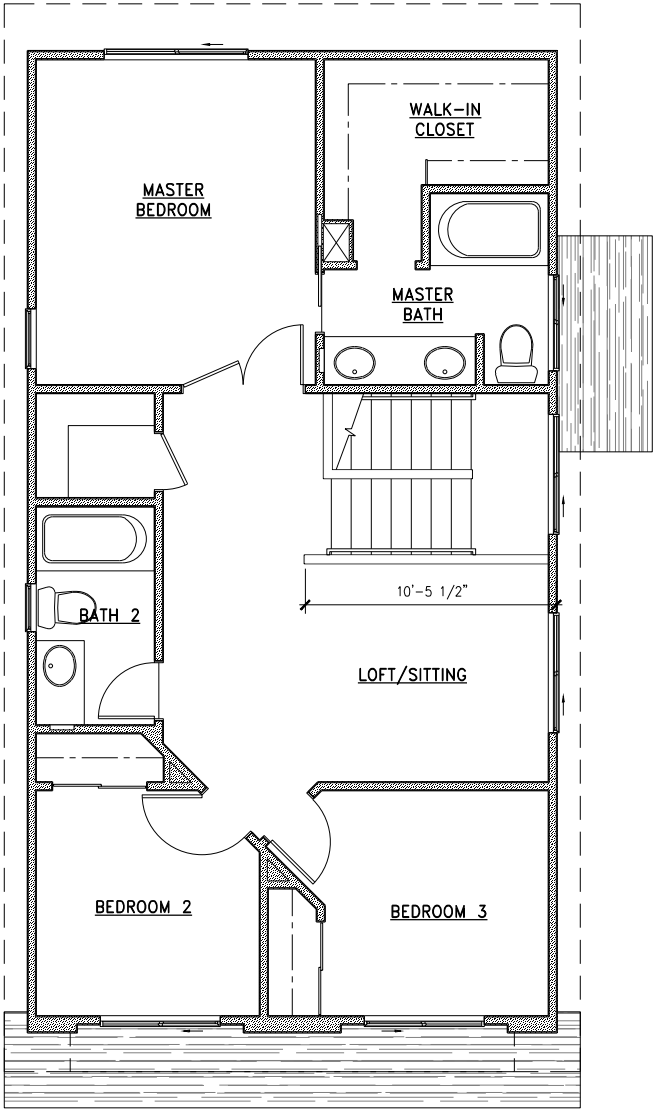
733 BISHOP STREET, SUITE 1400
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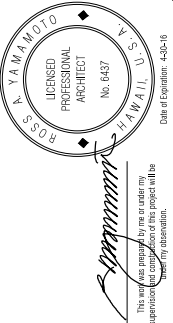


PARTIAL SECOND FLOOR PLAN

OPTION 2 - LOFT/SITTING ROOM
1/4" = 1'-0"

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SEABRIDGE • CPR SET
PLAN 2

DRAWING DESCRIPTION
OPTION 2 - LOFT/SITTING ROOM

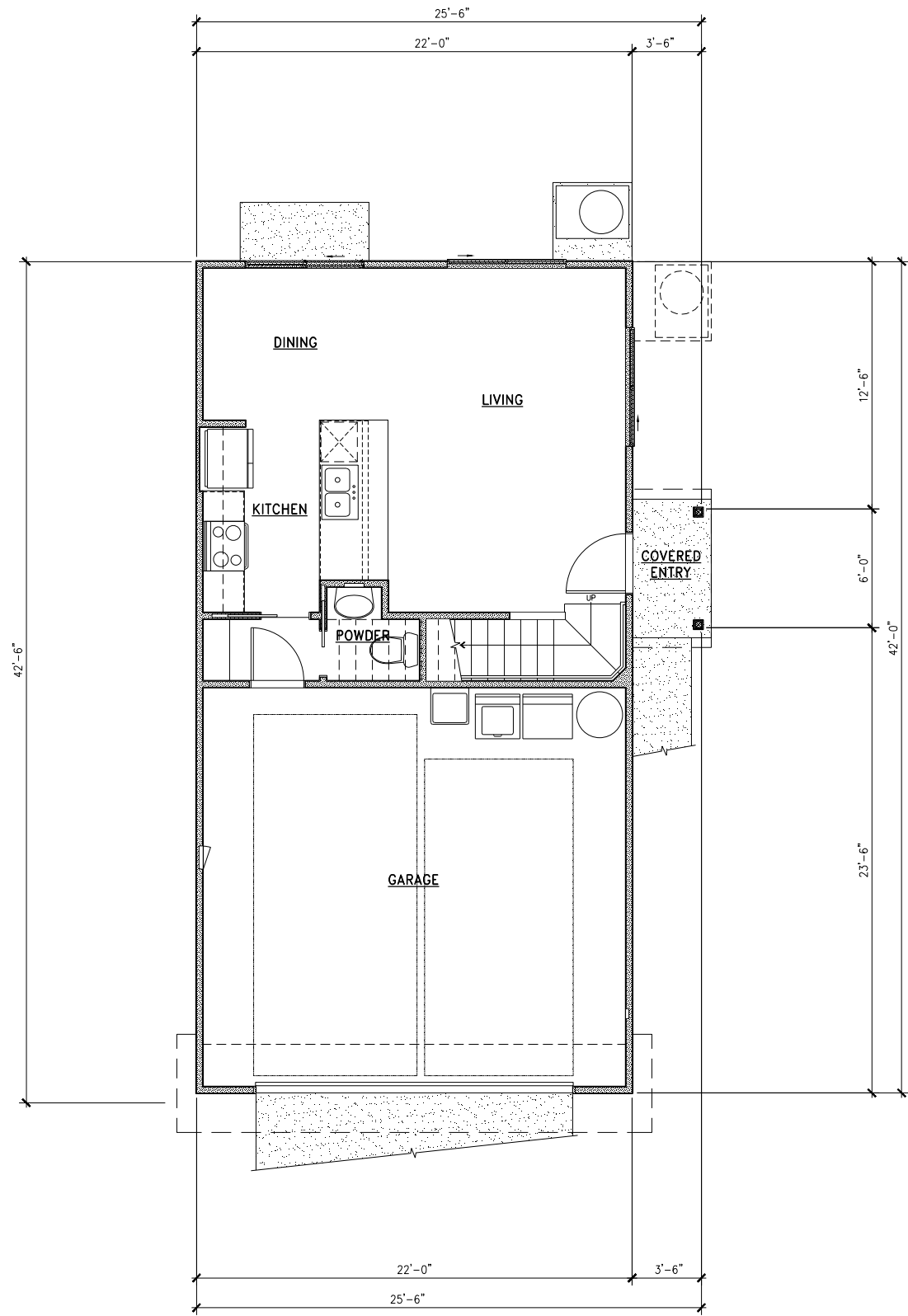
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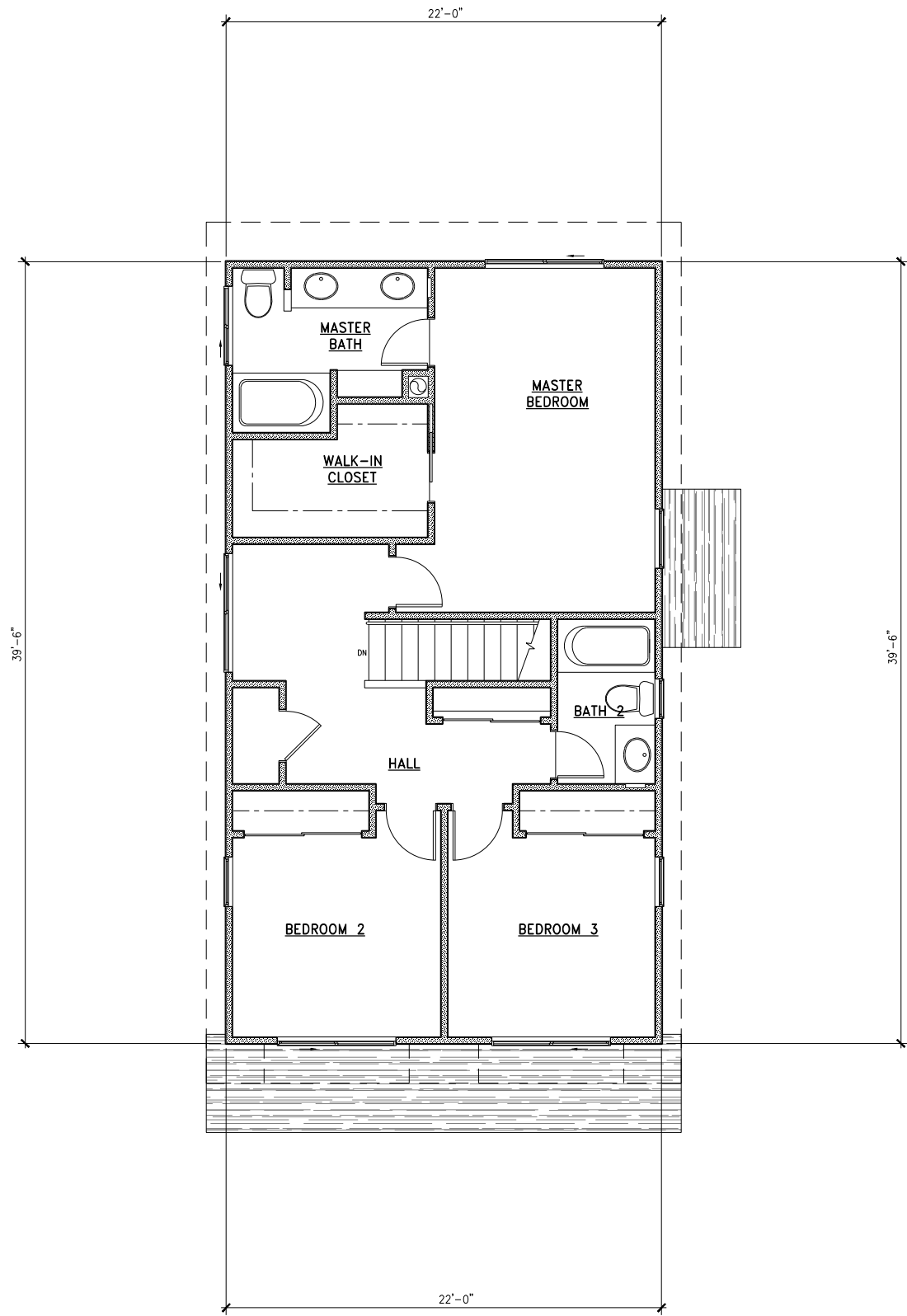
DATE: 3/4/16

SHEET NUMBER
9

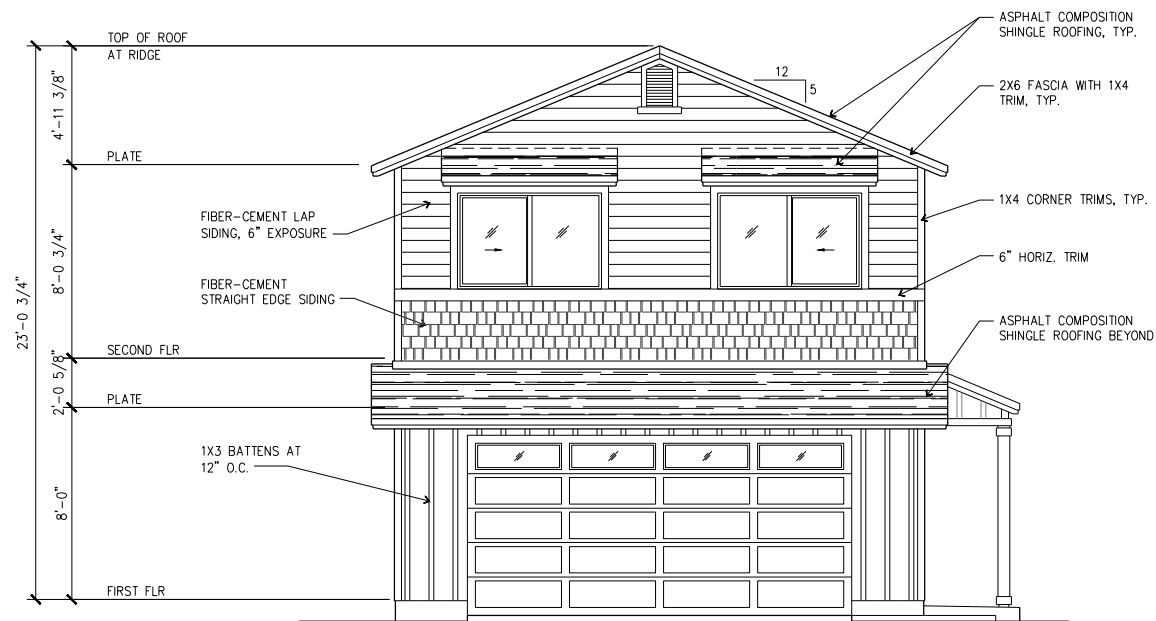
9 OF 18 SHEETS



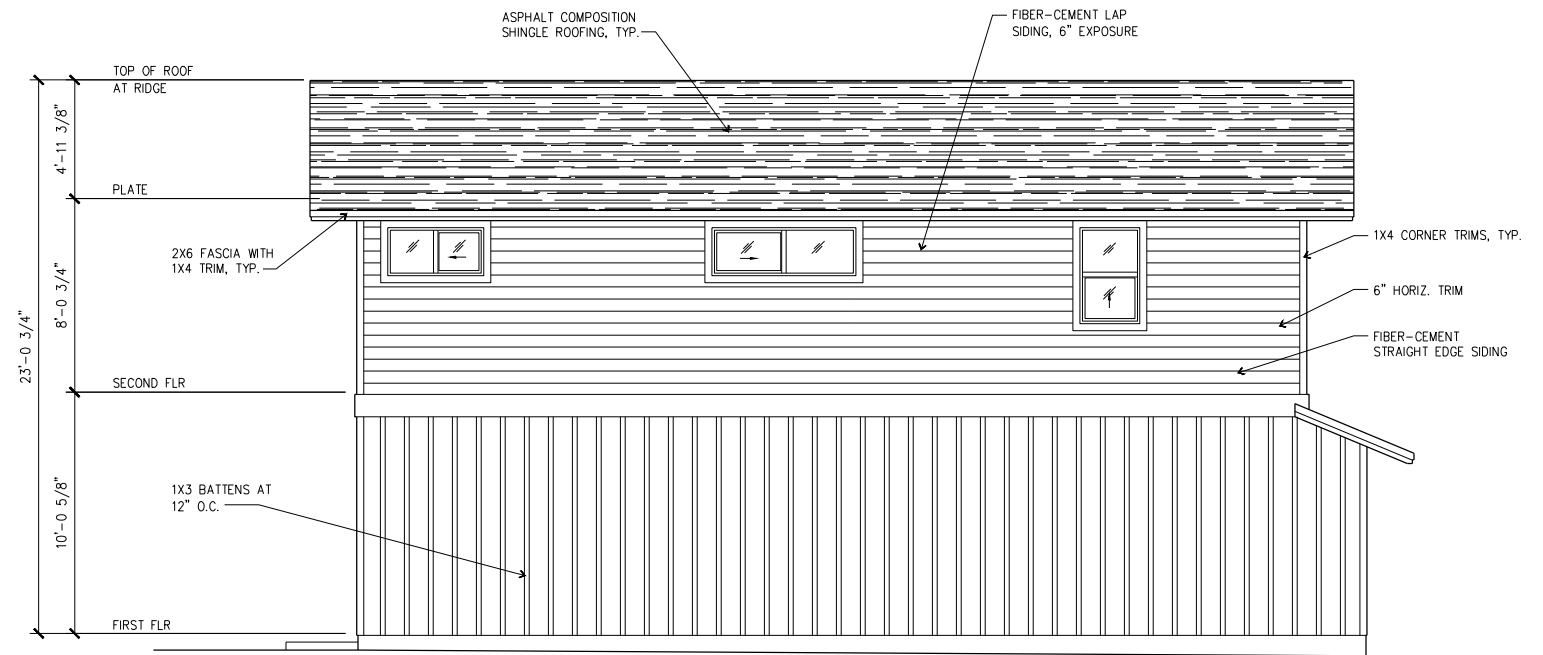
FIRST FLOOR PLAN
1/4" = 1'-0"



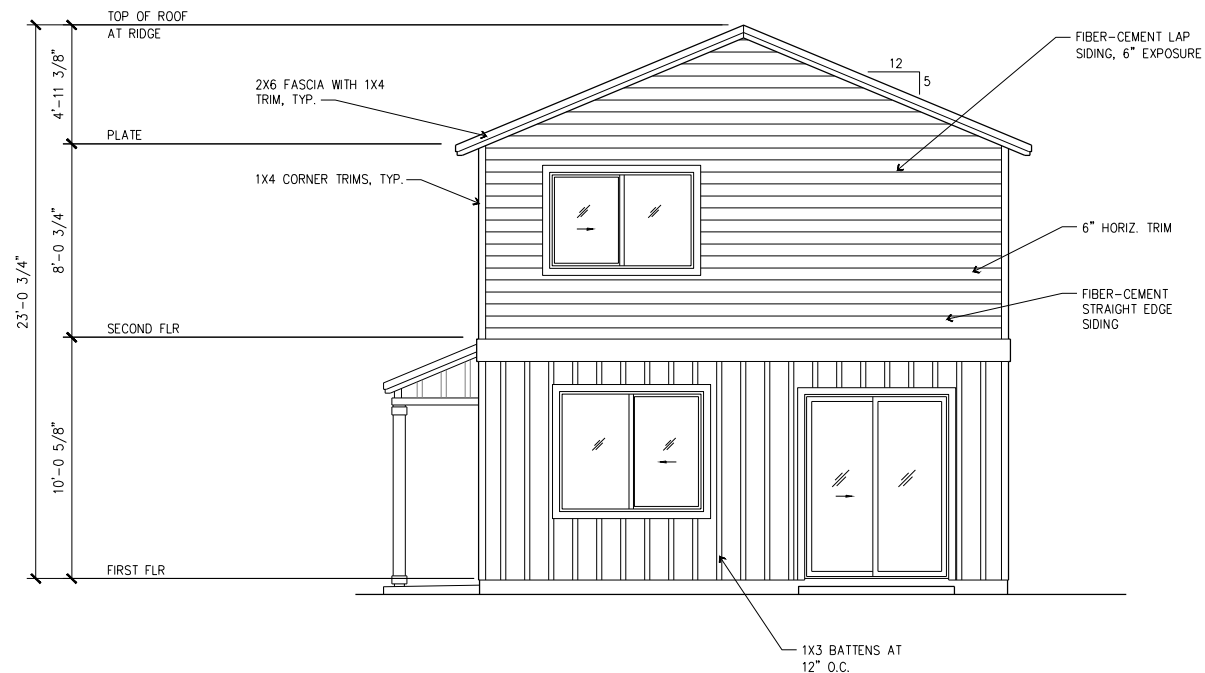
SECOND FLOOR PLAN
1/4" = 1'-0"



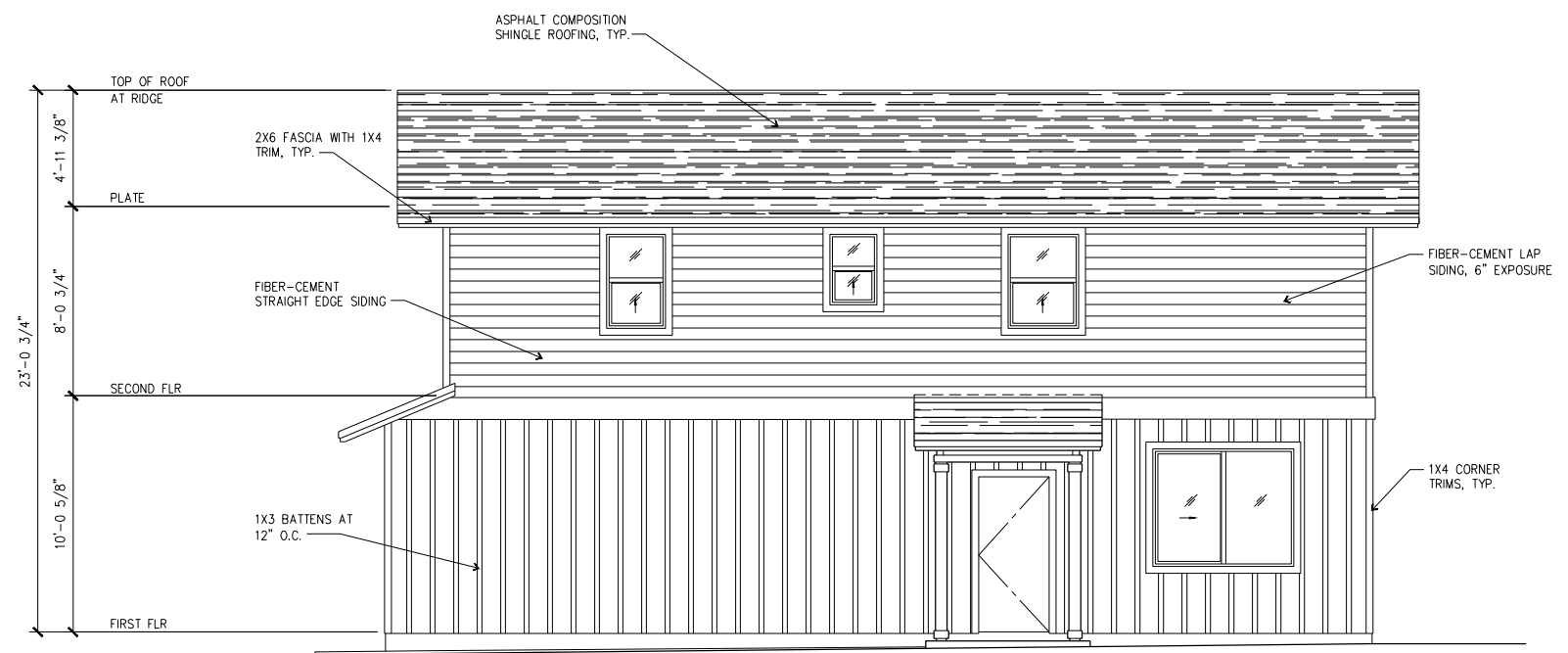
FRONT ELEVATION
1/4" = 1'-0"



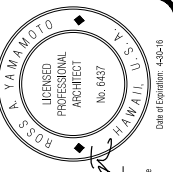
LEFT SIDE ELEVATION
1/4" = 1'-0"



REAR ELEVATION
1/4" = 1'-0"



RIGHT SIDE ELEVATION
1/4" = 1'-0"



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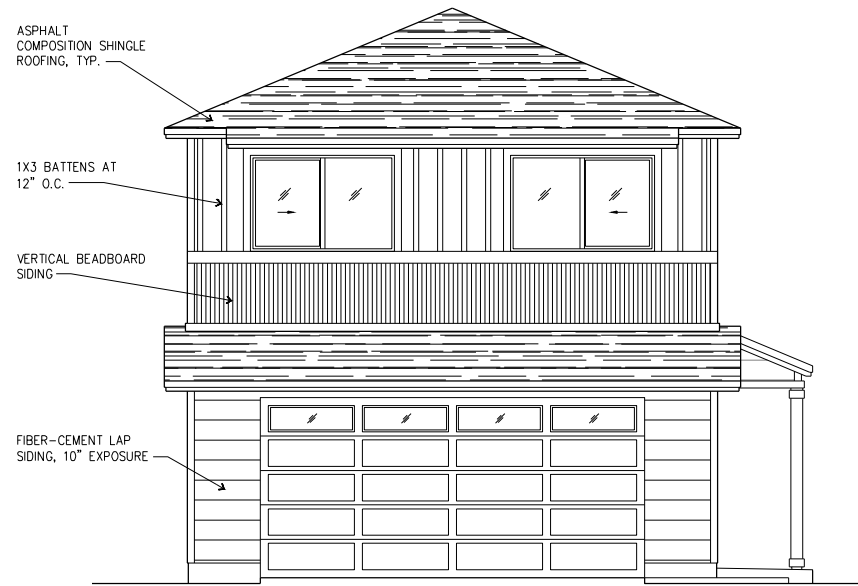


SEABRIDGE • CPR SET
PLAN 3
DRAWING DESCRIPTION
EXTERIOR ELEVATIONS

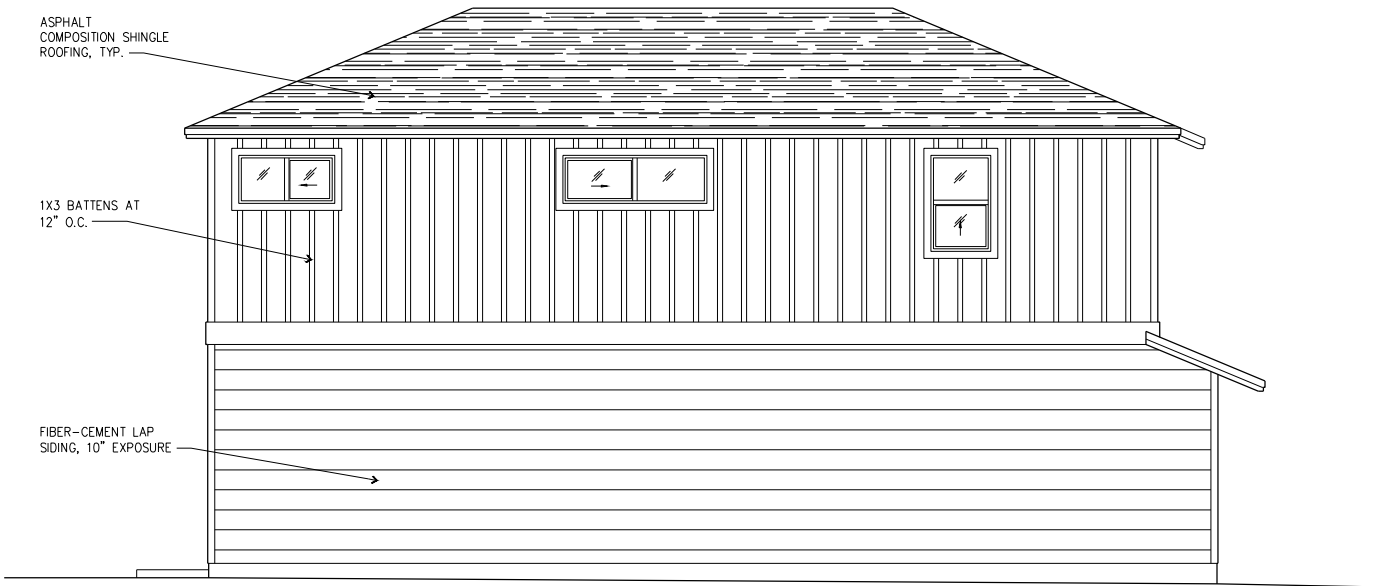
NO.	DATE	DESCRIPTION

DRAWN BY:
DATE: 3/4/16

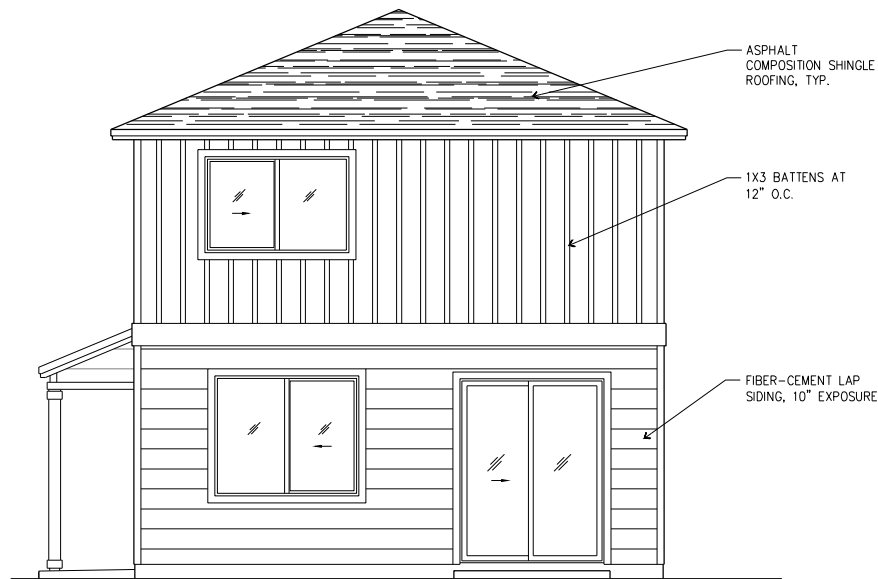
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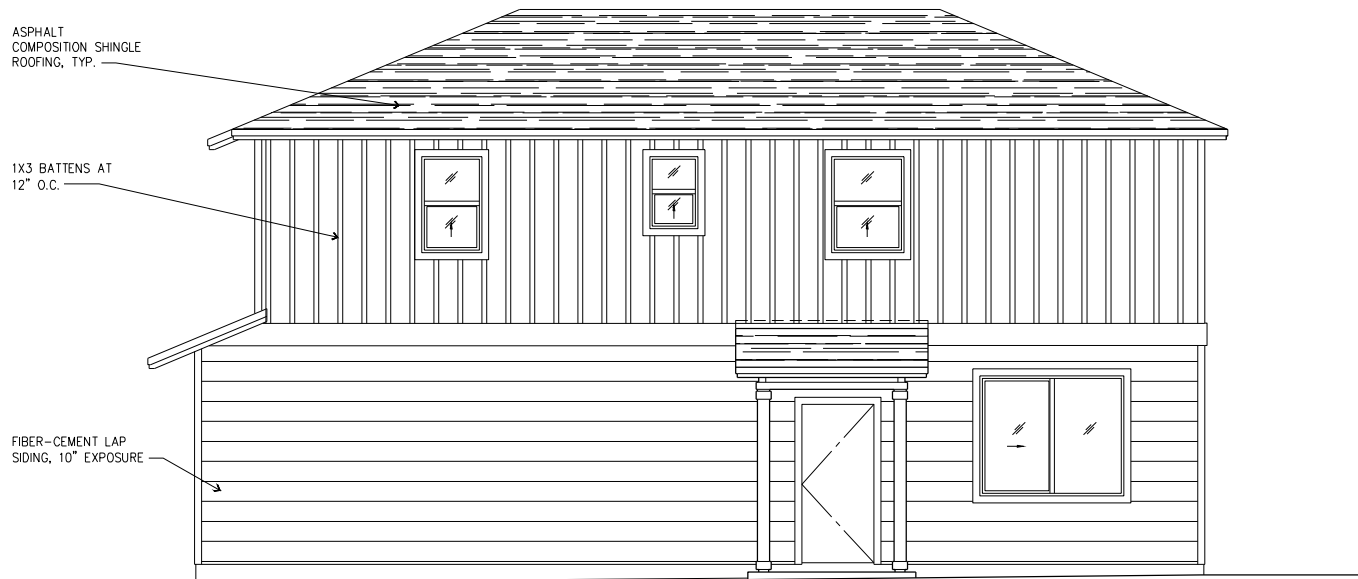
FRONT ELEVATION
1/4" = 1'-0"



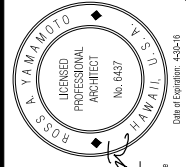
LEFT SIDE ELEVATION
1/4" = 1'-0"



REAR ELEVATION
1/4" = 1'-0"



RIGHT SIDE ELEVATION
1/4" = 1'-0"



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SEABRIDGE • CPR SET
PLAN 3

DRAWING DESCRIPTION
ALTERNATE EXTERIOR ELEVATIONS

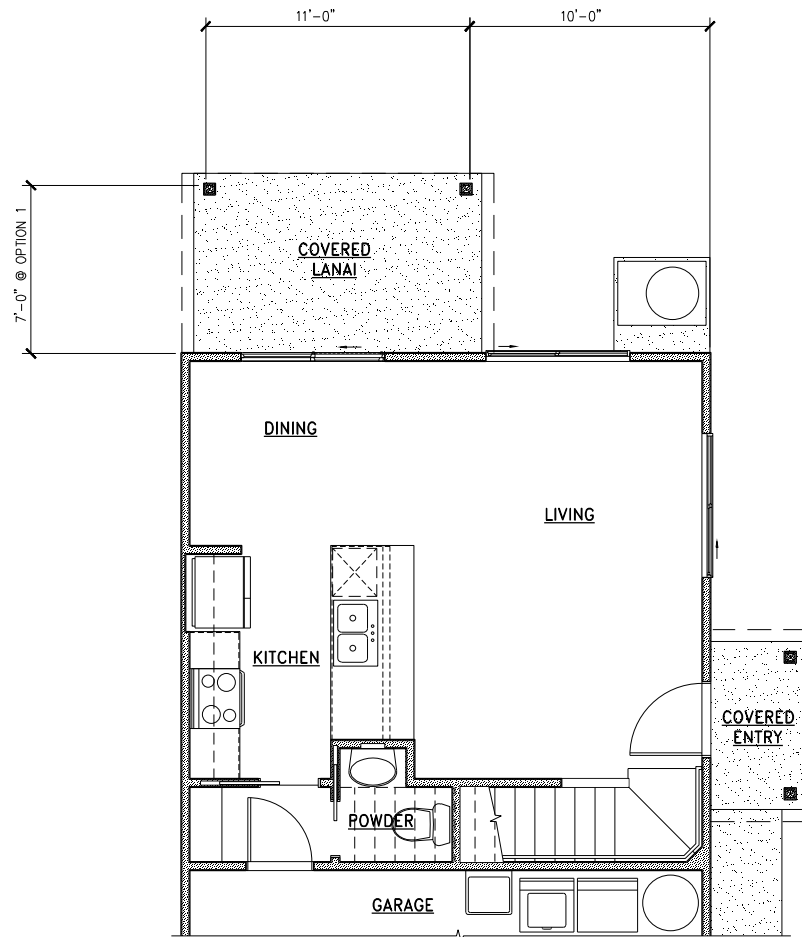
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DRAWN BY:
DATE: 3/4/16

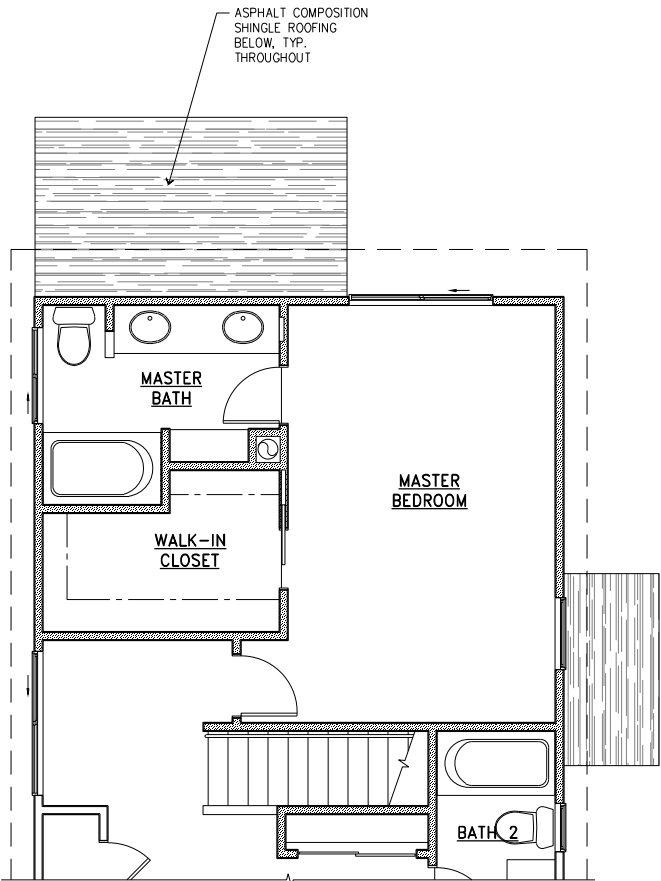
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12

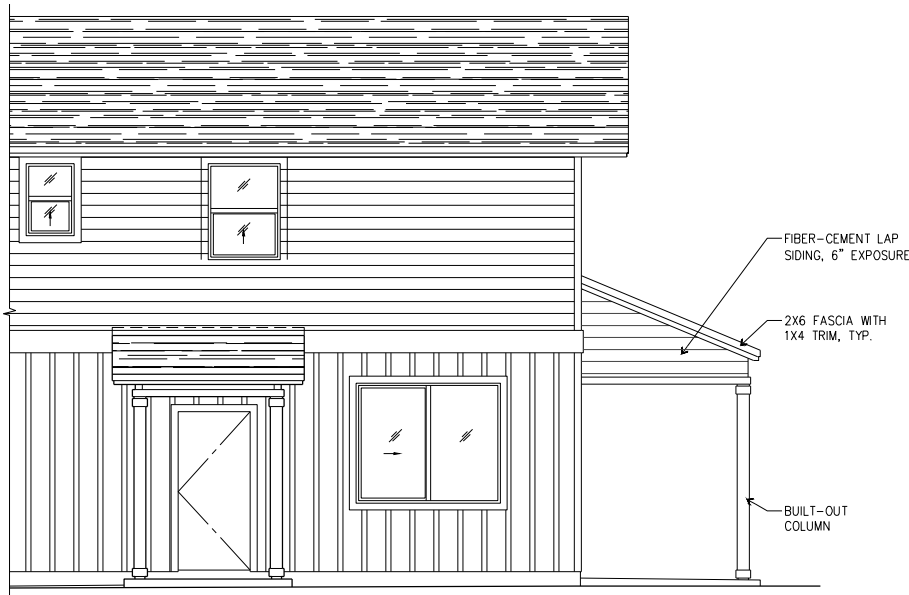
12 OF 18 SHEETS



PARTIAL FIRST FLOOR PLAN



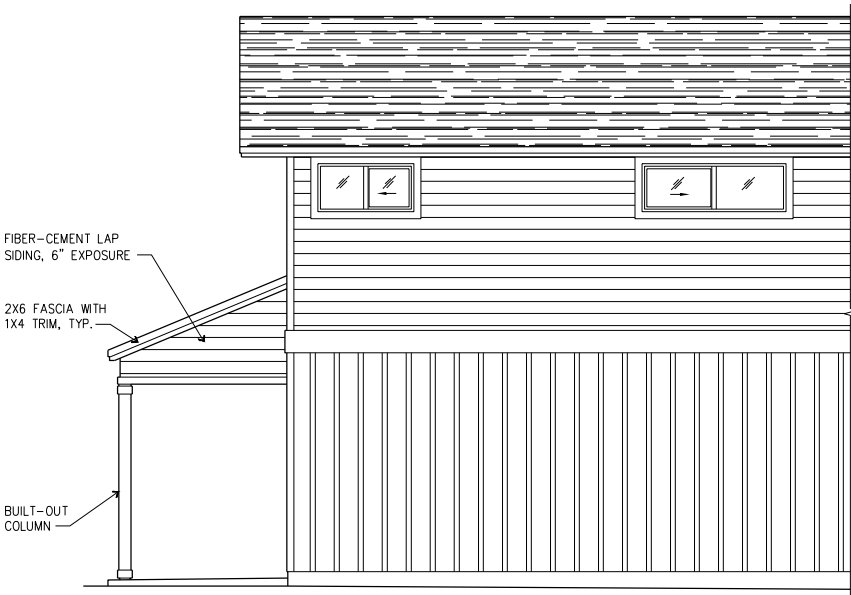
PARTIAL SECOND FLOOR PLAN



PARTIAL RIGHT SIDE ELEVATION



REAR ELEVATION



PARTIAL LEFT SIDE ELEVATION

OPTIONS 1 & 1A - COVERED LANAI

1/4" = 1'-0"

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SEABRIDGE • CPR SET

PLAN 3

DRAWING DESCRIPTION

OPTIONS 1 & 1A - COVERED LANAI

NO.	DATE	DESCRIPTION

DRAWN BY:

DATE: 3/4/16

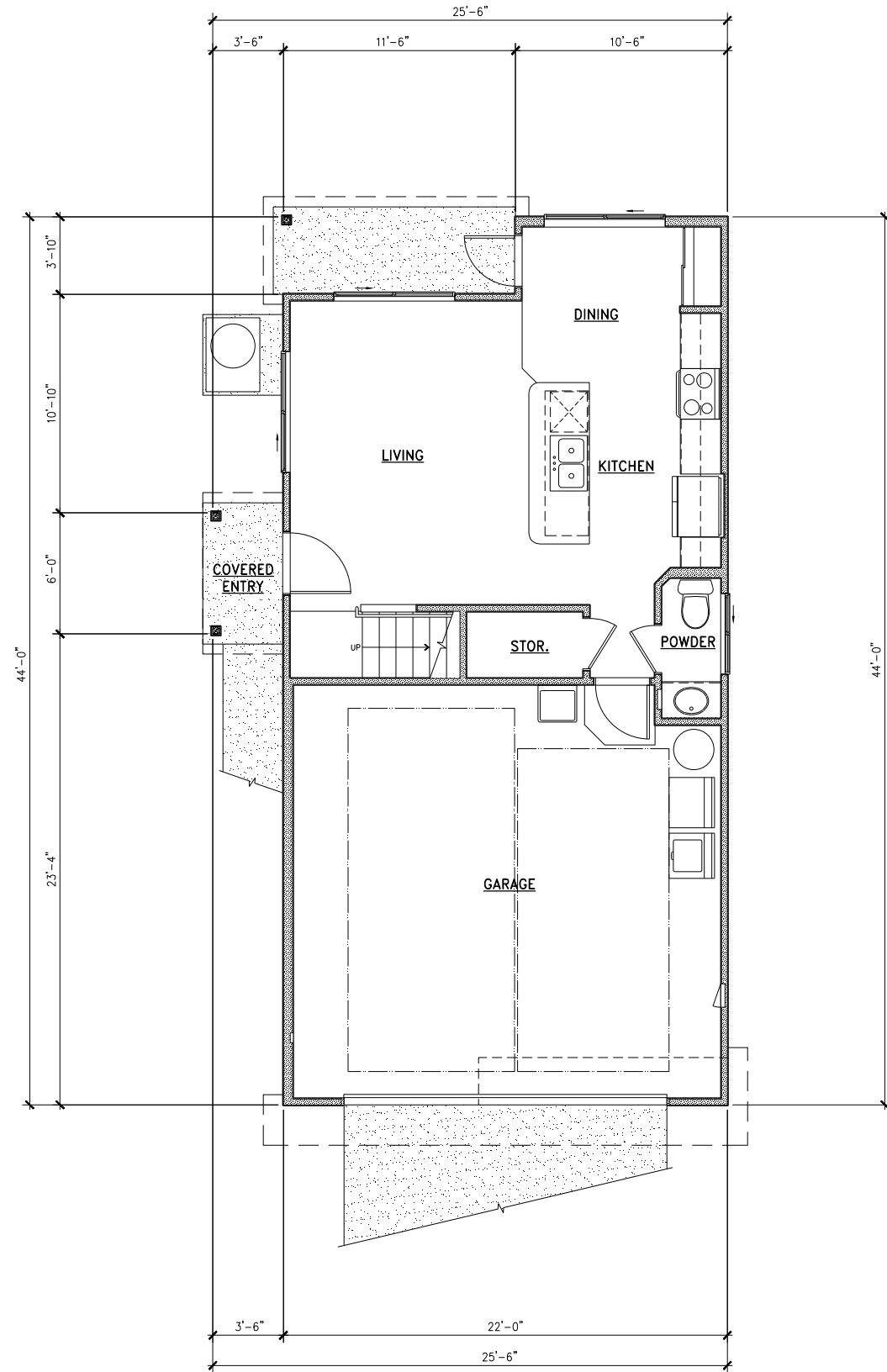
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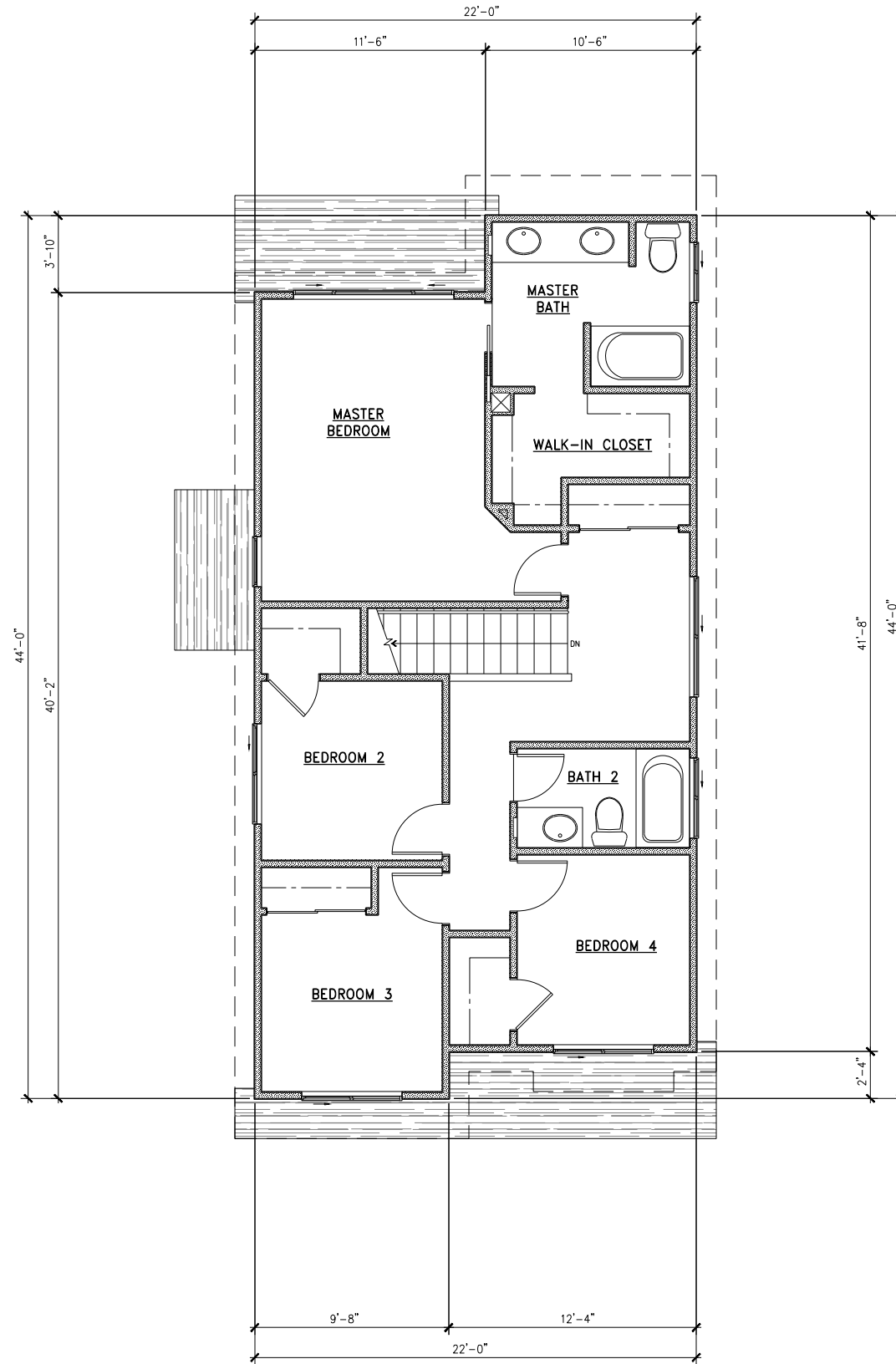
13

OF 18

SHEETS



FIRST FLOOR PLAN
1/4" = 1'-0"



SECOND FLOOR PLAN
1/4" = 1'-0"

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PLAN 4

DRAWING DESCRIPTION
FIRST FLOOR PLAN
SECOND FLOOR PLAN

NO.	DATE	DESCRIPTION

DRAWN BY:

DATE: 3/4/16

SHEET NUMBER

14

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ROSS ARCHITECTS, LTD.

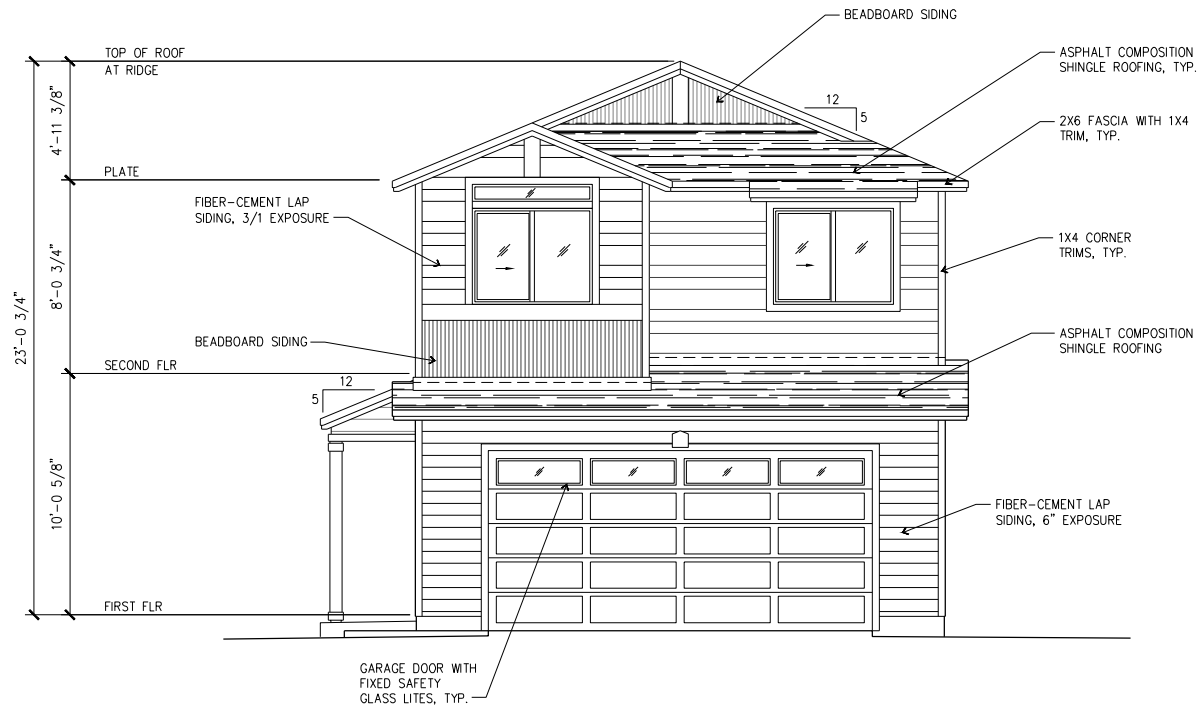
2720 MAKAHIKI DRIVE
KAPAHULU, HAWAII 96761
(808) 252-3111

ROSS ARCHITECTS, LTD.

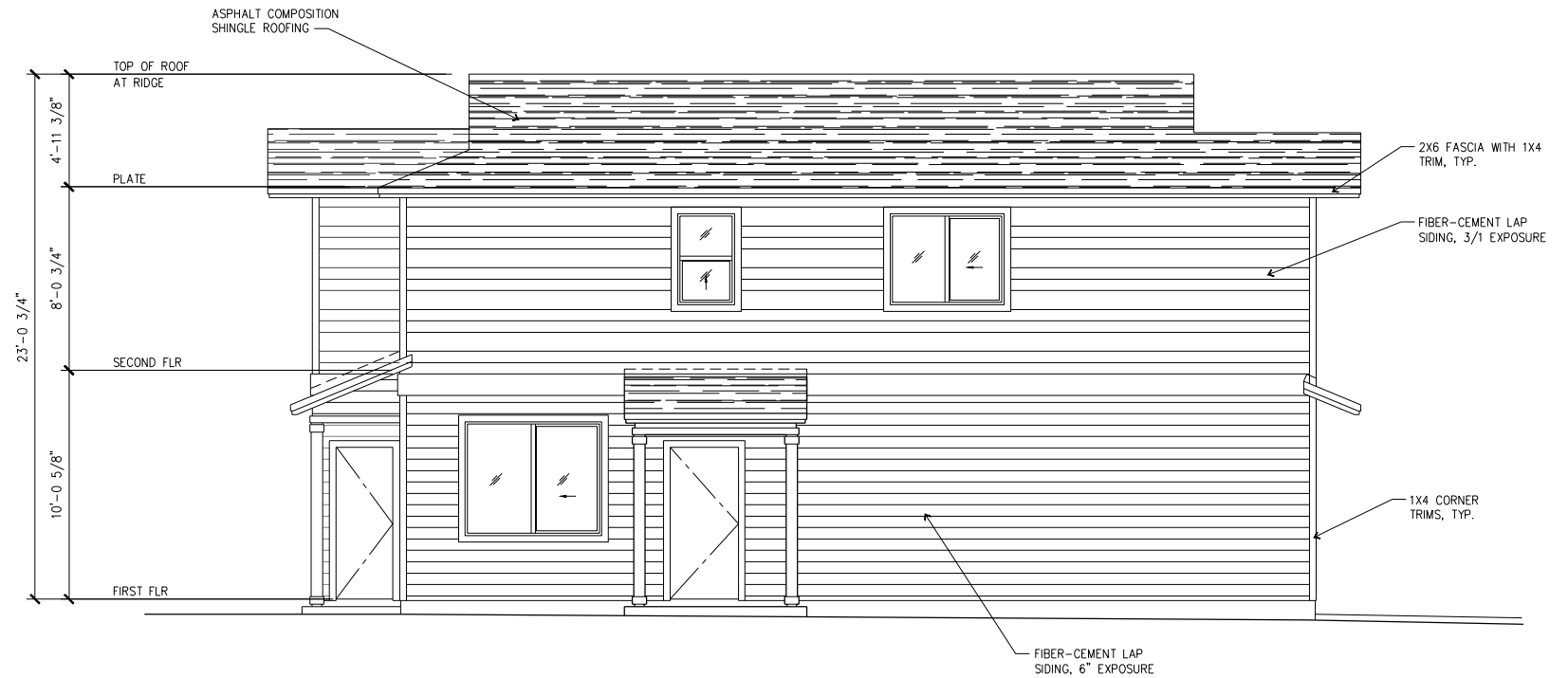
2720 MAKAHIKI DRIVE
KAPAHULU, HAWAII 96761
(808) 252-3111

ROSS ARCHITECTS, LTD.

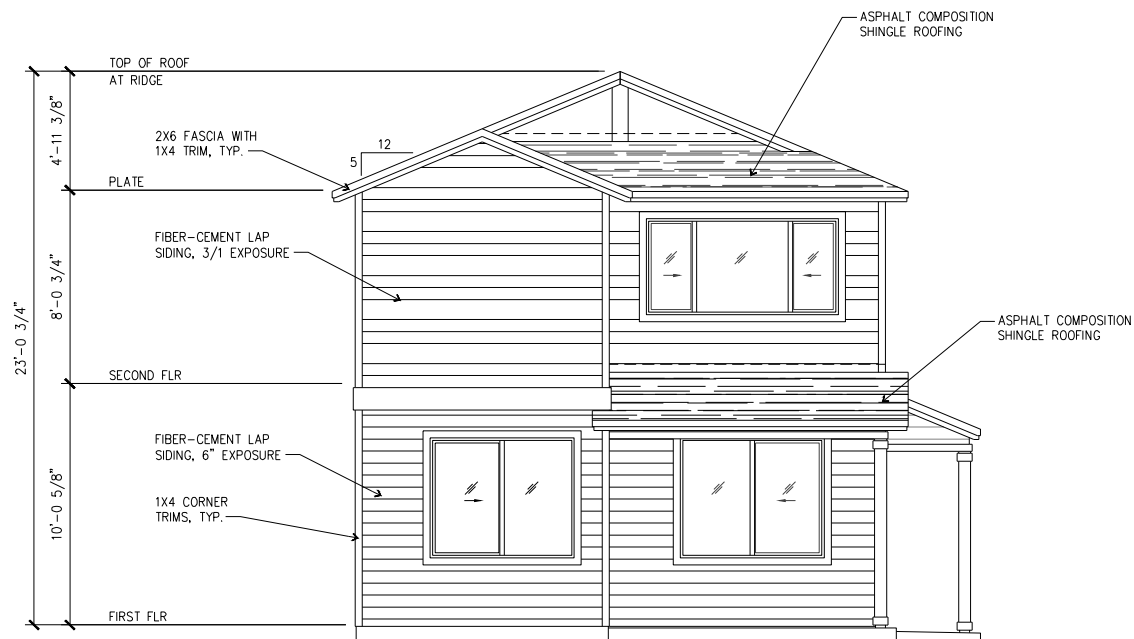
2720 MAKAHIKI DRIVE
KAPAHULU, HAWAII 96761
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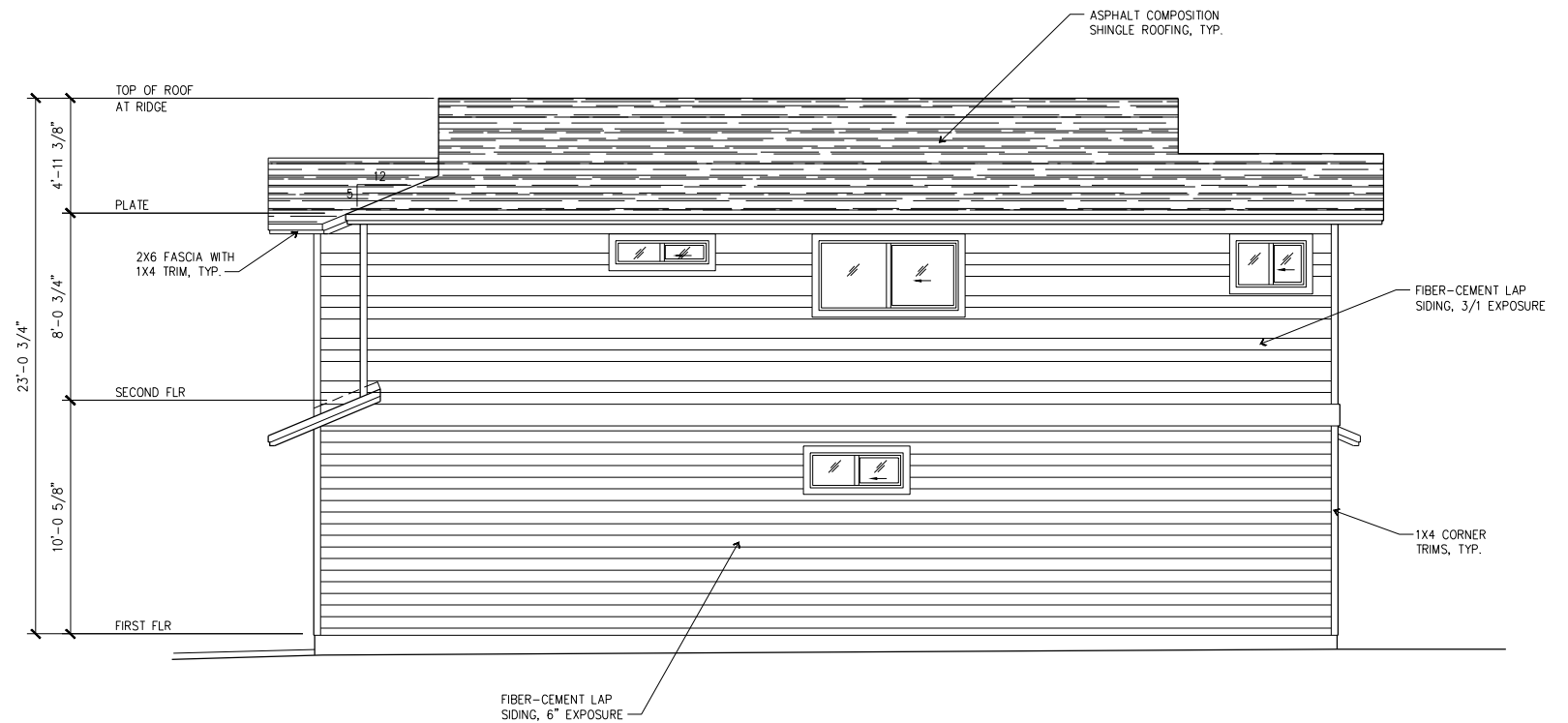
FRONT ELEVATION
1/4" = 1'-0"



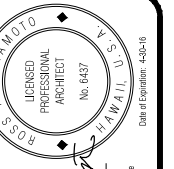
LEFT SIDE ELEVATION
1/4" = 1'-0"



REAR ELEVATION
1/4" = 1'-0"



RIGHT SIDE ELEVATION
1/4" = 1'-0"



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SEABRIDGE • CPR SET
PLAN 4

DRAWING DESCRIPTION
EXTERIOR ELEVATIONS

NO.	DATE	DESCRIPTION

DRAWN BY: 3/4/16

SHEET NUMBER

15

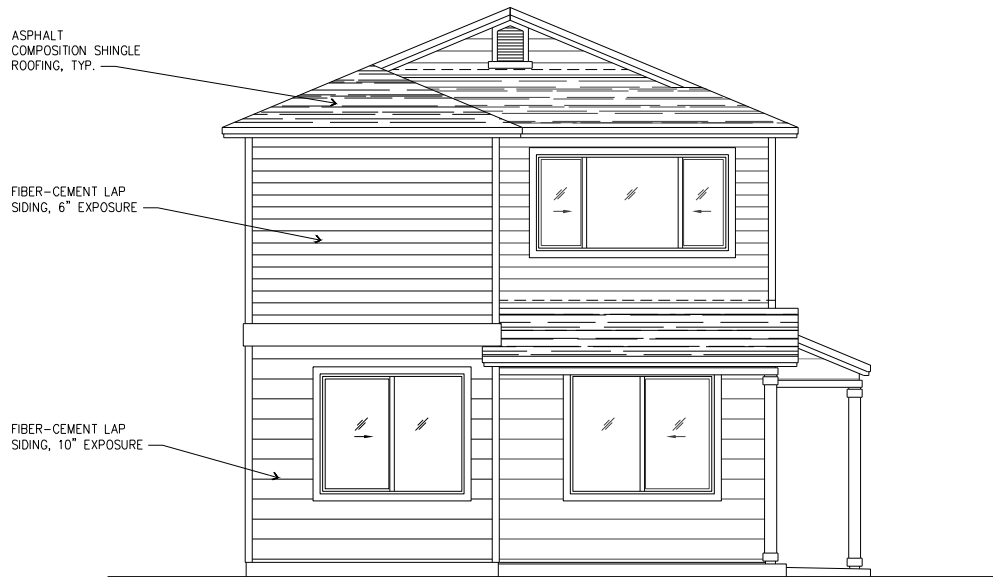
15 OF 18 SHEETS



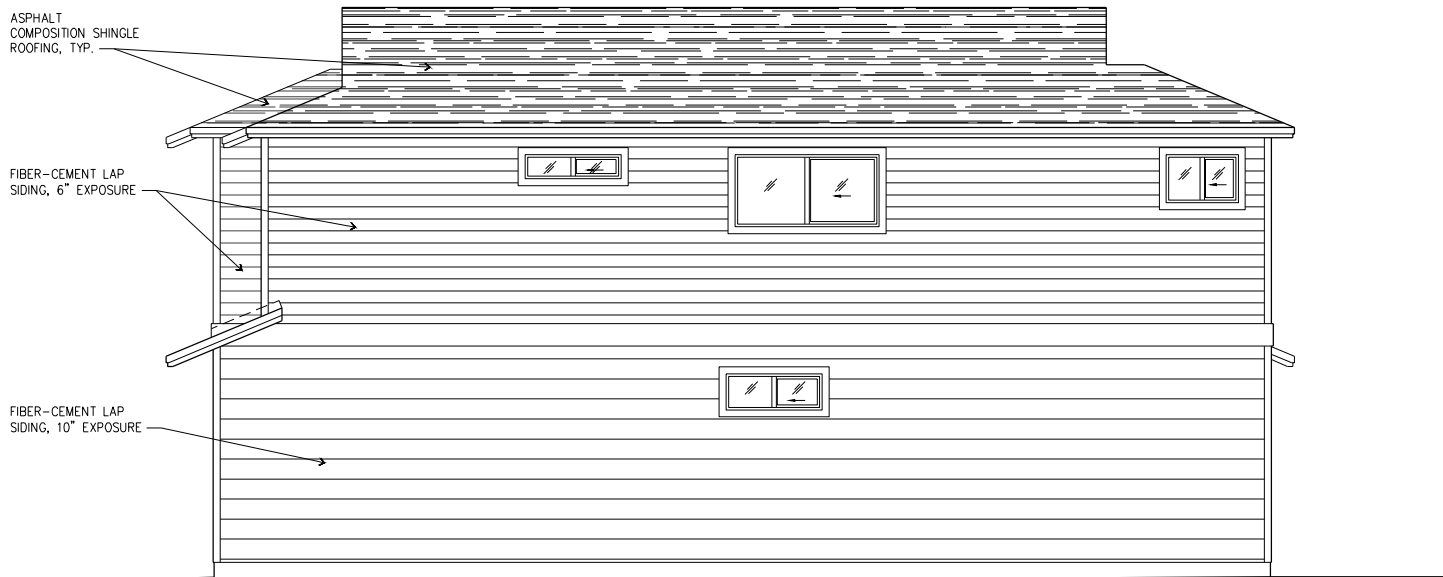
FRONT ELEVATION
1/4" = 1'-0"



LEFT SIDE ELEVATION
1/4" = 1'-0"



REAR ELEVATION
1/4" = 1'-0"



RIGHT SIDE ELEVATION
1/4" = 1'-0"



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SEABRIDGE • CPR SET
PLAN 4

DRAWING DESCRIPTION
ALTERNATE EXTERIOR ELEVATIONS

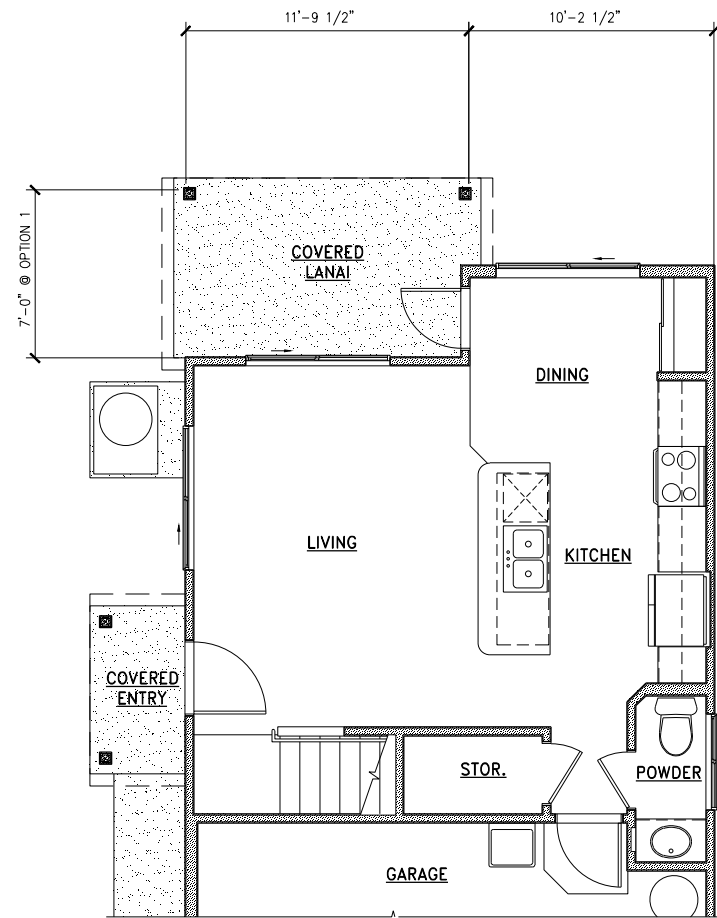
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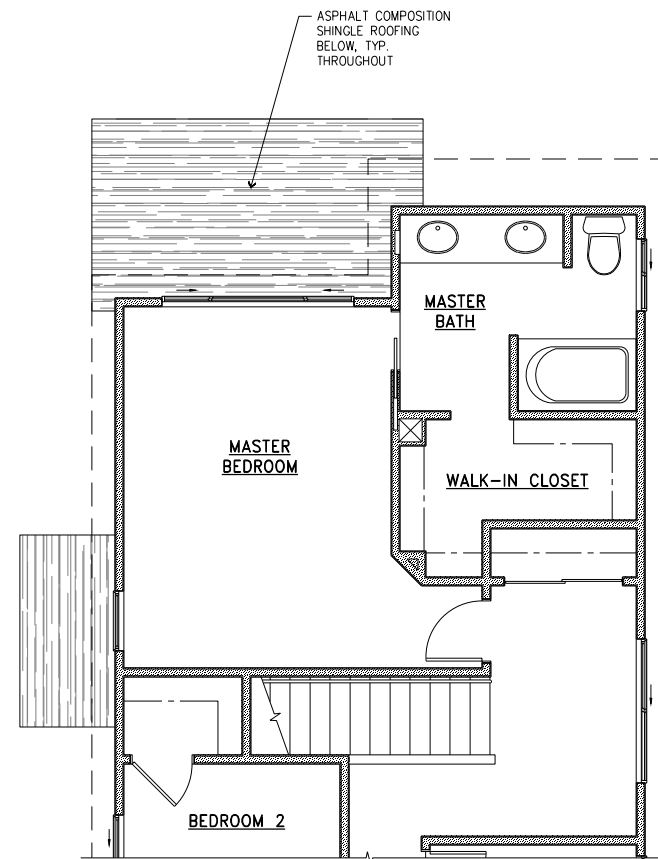
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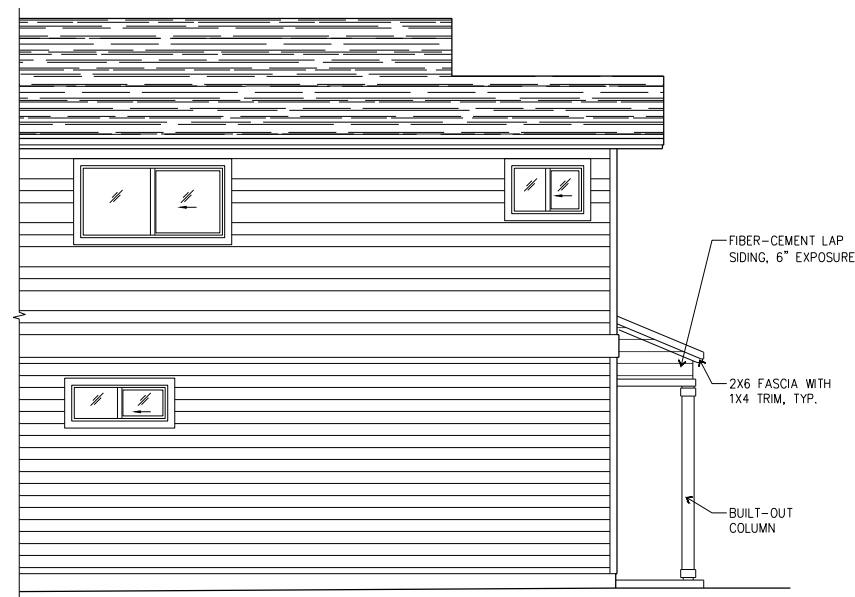
16 OF 18 SHEETS



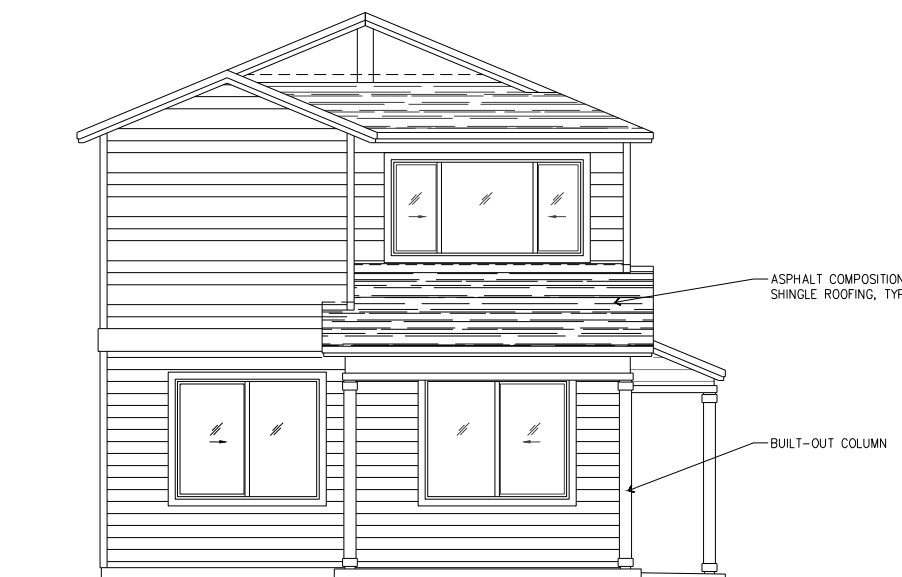
PARTIAL FIRST FLOOR PLAN



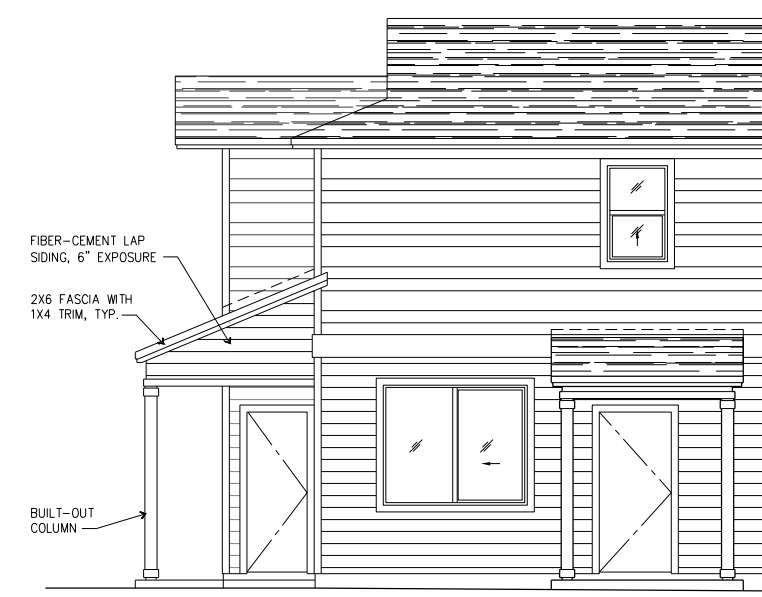
PARTIAL SECOND FLOOR PLAN



PARTIAL RIGHT SIDE ELEVATION

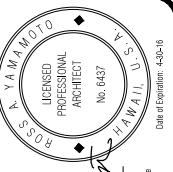


REAR ELEVATION

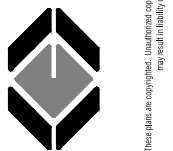


PARTIAL LEFT SIDE ELEVATION

OPTIONS 1 & 1A - COVERED LANAI
1/4" = 1'-0"



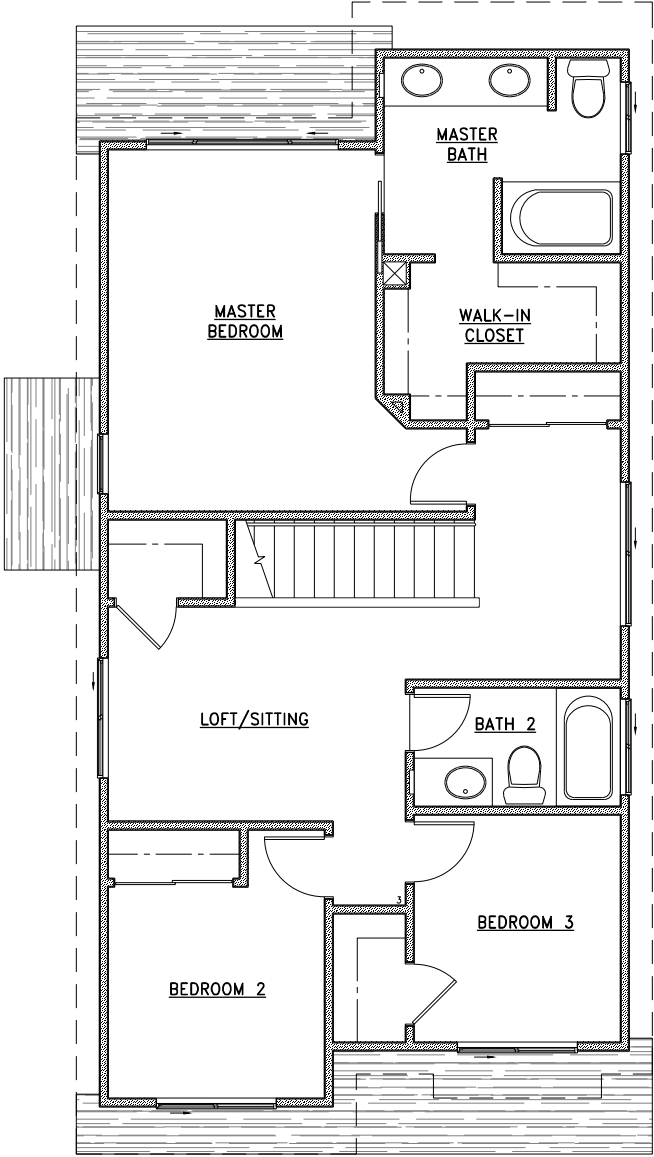
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SEABRIDGE • CPR SET
PLAN 4
DRAWING DESCRIPTION
OPTIONS 1 & 1A - COVERED LANAI

NO.	DATE	DESCRIPTION

DRAWN BY:
DATE: 3/4/16
SHEET NUMBER

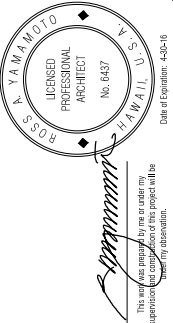


PARTIAL SECOND FLOOR PLAN

OPTION 2 - LOFT/SITTING ROOM
1/4" = 1'-0"

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SEABRIDGE • CPR SET
PLAN 4

DRAWING DESCRIPTION
OPTION 2 - LOFT/SITTING ROOM

REVISIONS

NO.	DATE	DESCRIPTION

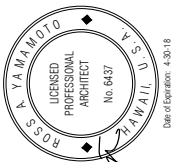
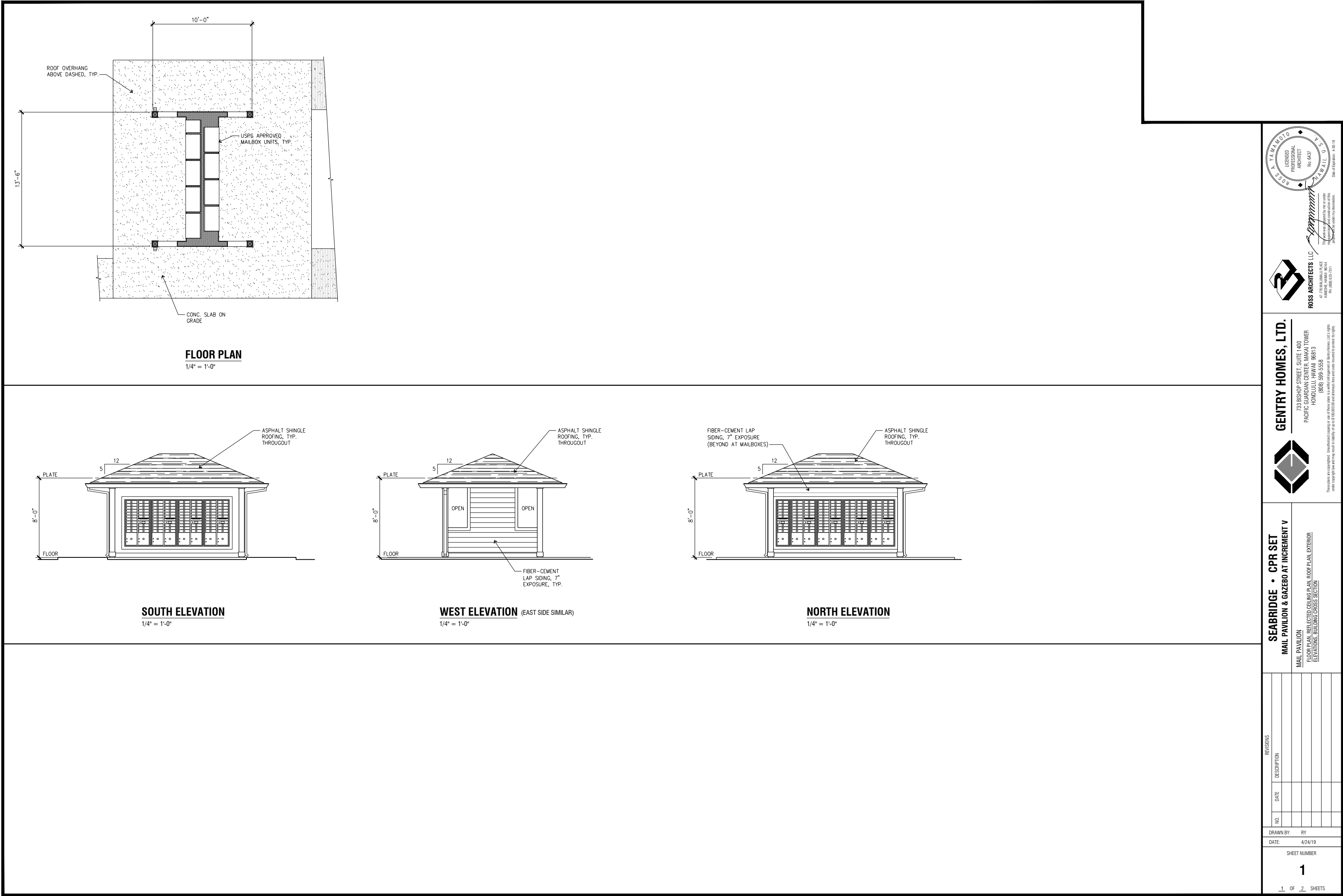
DRAWN BY:

DATE: 3/4/16

SHEET NUMBER

18

18 OF 18 SHEETS



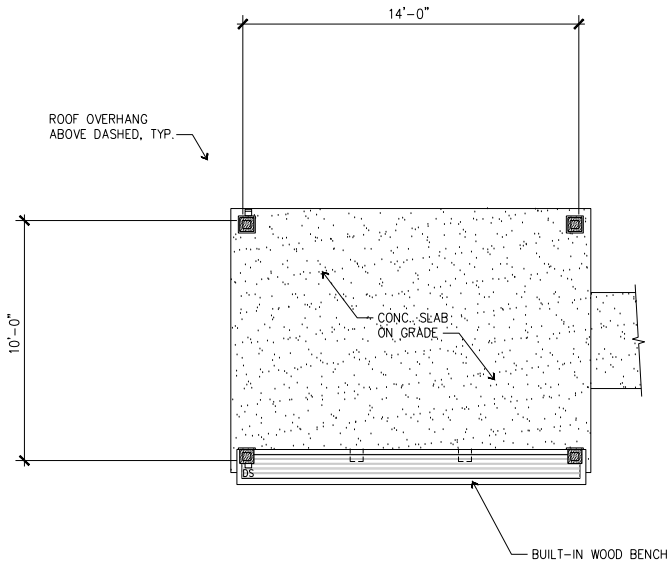
ROSS ARCHITECTS, LLC
200 KALANIANAʻOHE AVENUE, SUITE 200
HONOLULU, HAWAII 96813
PH: (808) 625-5111

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PACIFIC GUARDIAN CENTER, MAKAI TOWER
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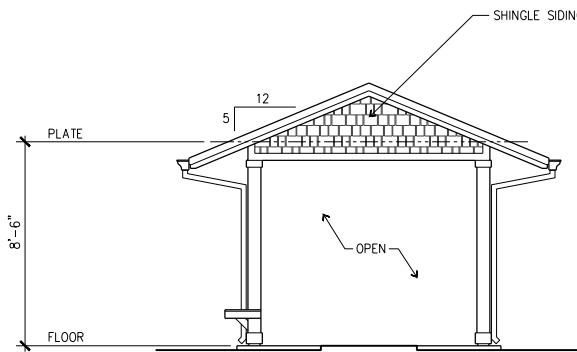
SEABRIDGE • CPR SET
MAIL PAVILION & GAZEBO AT INCREMENT V
MAIL PAVILION
FLOOR PLAN, REFLECTED CEILING PLAN, ROOF PLAN, EXTERIOR
ELEVATIONS, BUILDING CROSS SECTION

REVISIONS	
NO.	DESCRIPTION

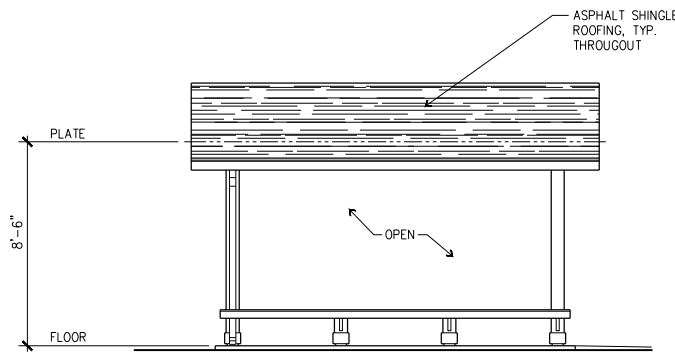
DRAWN BY: RY
DATE: 4/24/19
SHEET NUMBER
1
1 OF 2 SHEETS



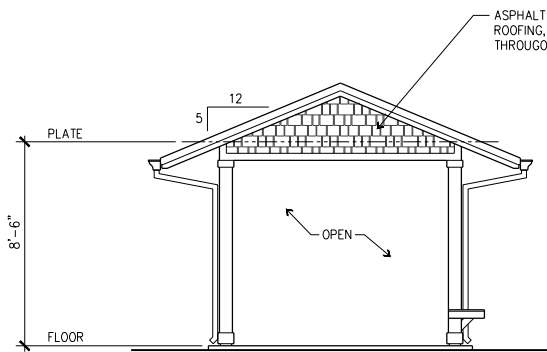
FLOOR PLAN
1/4" = 1'-0"



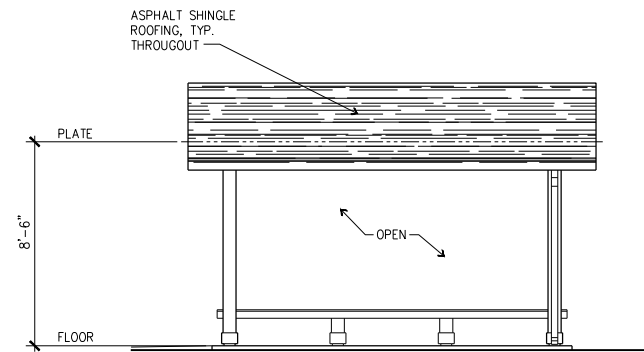
SOUTH ELEVATION
1/4" = 1'-0"



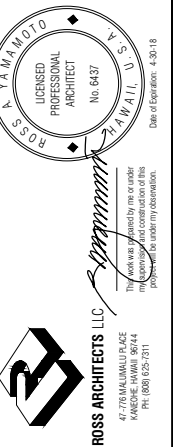
WEST ELEVATION
1/4" = 1'-0"



NORTH ELEVATION
1/4" = 1'-0"



EAST ELEVATION
1/4" = 1'-0"



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SEABRIDGE • CPR SET
MAIL PAVILION & GAZEBO AT INCREMENT V
GAZEBO
FLOOR PLAN, REFLECTED CEILING PLAN, ROOF PLAN, EXTERIOR
ELEVATIONS, BUILDING CROSS SECTION, MISCELLANEOUS DETAILS

NO.	DATE	DESCRIPTION	REVISIONS

DRAWN BY: RY
DATE: 4/24/19
SHEET NUMBER
2
2 OF 2 SHEETS